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COLLEGE OF THE LAW
EST. 1878

SIGN AND RETURN INSIDE YOUR SEALED BID

June 24, 2019

ITB #89-0167

200 McAllister 1st Floor Tenant Improvements

ADDENDUM #2

Questions & Answers

The following information is incorporated into ITB #89-0167 via this addendum. Sign and return this addendum inside your firm's sealed bid response. **Bid due date has been changed to: 6.27.19.**

Q1: Need clarification on what Phase is what? Does the Bid need to be priced separately in Phases? G0.02 and A4.4 refers to Café as Phase 3 and A4.3 Calls Cafe out as Phase 2. But, Not even sure if there is Tile/Stone work in Cafe Area. Can you also clarify where exactly the cafe area is?

A1: **Phase II is the Main Lobby scope of work and Phase III is the Café core & shell. Steve can answer the location. At the Bid walk we told those in attendance that the Main Lobby and Café really needed to be priced separately, as it was a funding question, so the bidders were told to include GC etc on a per phase basis.**

A1: Per the bid instructions there is a Base Bid (Phase 1 in the construction documents) and two Alternates – Alternate 1(Phase 2 for the Lobby Area) and Alternate 2 (Phase 3 for the Café). The Café is clearly documented A1.5, A2.8, A2.9, A4.4, M1.2, MD1.2, P1.2, and E3.2.

Q2: A2.6 Shows Main Lobby 102 to receive FT1 as Phase 2. But A2.2 shows Main Lobby 102 with N.I.C. shading but has Tile Hash marks drawn out. A4.3 says Lobby to receive 2x2 Floor Tile to match Phase 1 Corridor? Are we tiling the Main Lobby? and if so, what Tile are we using?

A2: The base bid does not include any floor finished to the Main Lobby 102. The Alternate 1 scope for work includes a new FT-1 – 24” x 24” Terrazzo Tile to match FT-1 in Corridor 110.

Q3: Need clarification on Wall Tile in Restroom. Are we using WT1 for Walls? Finish Schedule calls WT1 and FT2 both as Wall tile. There is a Tile Grid drawn on 3/A4.1 but doesn't show what Tile is called out. Is Tile only going behind Toilets? Other Elevations are showing blank walls (A5.3 Restroom Elevation shows no Tile Call-outs). And do we need base for the Restrooms? if so, what are we using for Restroom Base? Possibly Dilex cove Base?

A3: WT-1 is to be installed as shown on 3/A4.1 on the north restroom partition. FT-2 is the floor finish for Unisex Restrooms 116. Provide 6” Daltile porcelain tile cove base.

Q4: Sheet A2.2 indicates FT-2 in the Restrooms 116

A4: Response: See response to item 3 above.

Q5: Elevation 3 on Sheet A4.1 appears to indicate tile on the back wall of the stalls but there is no call out for what this material is.

A5: See response to item #3 above.

Q6: The interior elevations (5, 7 & 8) on Sheet A5.3 don't indicate tile on any wall of these stalls

A6: Per the Sheet A2.2 Finish Plan the wall finish for these elevation is PT-2.

Q7: Sheet A6.1 identifies FT-2 as "Porcelain Wall Tile". This sheet also has WT-1 identified but this notation doesn't show up on any elevation.

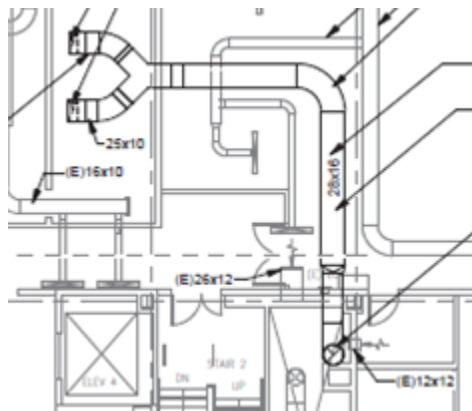
A7: See response #3 above.

Q8: Can you have the Architect clarify what the tile scope is for this project?

A8: See response #3 above.

Q9: Access to several levels for the grease duct installation in the Mid-building shaft. The 24" grease duct is double wall and will be 30"+. This will require a larger access into the shaft area (currently 24"x24" access). It was suggested a full height door at each level for access. And it was suggested to provide both on the 2nd Levels and 5th levels (with some sort of barricade around these accesses. Ceilings (and probably wall portions) on the 2nd level will need to be completely opened up to allow for the removal of (E) grease duct and installation of new grease duct.

A9: We can review the issue of door access, perhaps temporary for installation. There should be no need to access duct shaft after install.



Q10: The Fan Coils specified for Phase 3 are low profile, but 67" wide. The plans scale three 48" wide FCs with 24" clearances between FCs 1-3. The allotted space for the 3 FCs scales to 16'6" (+/-). Will stacking units be allowed to fit these 67" wide FCs in the allotted space? At least 2 of the 3 (FCs 1-3). Will this still be adequate for required clearances for servicing?

A10: The bid should assume there is adequate room for install per plans and no stacking of units.

Q12: Business Center 120 has two floor finishes identified, both CF-1 and FT-3; Which is correct?

A12: FT-3 and per legend is Floor Tile 3. CF-1 is Alternate No. D, per specification Section 01 23 00.

Q13: WD-1 specifies a color but it doesn't specify the wood species

A13: Per Sheet A6.1 Millwork WD-1 is specified as Wood Veneer, Silver Maple.

Q14: ACT-1 specifies the acoustic ceiling tile but it doesn't specify the grid to be used.

A14: The ceiling grid is specified in Section 09 22 2623 Metal Suspension System.

Q15: There is no floor finish specified for Room 105A in Phase 3. Is this to be unfinished?

A15: Room 105A is existing to remain in the base bid.

Q16: A2.1, Keynote #1 indicates an exposed duct crossing the corridor. Is this to be finished in any way?

A16: Per note 5 – Sheet M1. – First Floor Mechanical

Q17: A2.1 has two locations for keynote #4 but there is no keynote #4 on that sheet

A17: Key Note 4 is not used.

Q18: A4.0 has a keynote #13 pointing to the elevator doors but there is no keynote #13 on the sheet

A18: Keynote #13 is in error and should be #12 – Existing elevator door to receive new paint finish.
See finish schedule.

Q19: A4.3 has a keynote #14 at the entry sculpture but there is no keynote #14 on the sheet.

A19: No keynote #14 used.

Bidder acknowledgement
SIGN AND RETURN INSIDE YOUR SEALED BID

Date

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Sweet'.

Darryl Sweet, CPSM, C.P.M.
Director of Business Services
UC Hastings Law