UC HASTINGS COLLEGE OF LAW
INTERIOR IMPROVEMENTS
198 & 200 MCALLISTER STREET
SAN FRANCISCO, CA 94102

ABBREVIATIONS

@	AT
ø	DIAMETER
#	NUMBER
A.C.T.	ACOUSTIC CEILING TILE
A.D.	AREA DRAIN
ADJ.	ADJACENT, ADJUSTABLE
A.F.F.	ABOVE FINISHED FLOOR
AL.	ALUMINUM
A.T.C.	ACOUSTIC TILE CEILING
BD.	BOARD
BETW.	BETWEEN
BLKG.	BLOCKING
BM.	BEAM
B.O.	BOTTOM OF
BOT.	BOTTOM
BRG.	BEARING
BTWN.	BETWEEN
CAB.	CABINET
CER.	CERAMIC
C.J.	CONTROL JOINT
℄	CENTER LINE
CL.	CLOSET
CLG.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONS.	CONSTRUCTION
CONT.	CONTINUOUS
COOR.	COORDINATE
C.R.	COLD ROLLED
C.T.	CERAMIC TILE
CTSK.	COUNTERSINK
DBL.	DOUBLE
DCA.	DRILLED CONCRETE ANCHOR
DET.	DETAIL
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DIR.	DIRECTORY
DISP.	DISPENSER
DN.	DOWN
DR.	DOOR
DTL.	DETAIL
DWG.	DRAWING
(E)	EXISTING
EA.	EACH
E.J.	EXPANSION JOINT
EL.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
EXIST.	EXISTING
EXP.	EXPANSION
EXP. JT.	EXPANSION JOINT
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.	FLAT HEAD
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.	FACE OF
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
F.S.	FULL SIZE
FURR.	FURRING
FUT.	FUTURE
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
G.D.	GARBAGE DISPOSAL
G.W.B.	GYSUM WALLBOARD
GYP. BD.	GYSUM WALLBOARD
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HDWD.	HARDWOOD
H.M.	HOLLOW METAL
HORZ.	HORIZONTAL
HR.	HOUR
H.R.	HOT ROLLED
HT.	HEIGHT
I.D.	INSIDE DIAMETER
I.F.	INSIDE FACE
INS.	INSULATION
INT.	INTERIOR
INTER.	INTERMEDIATE
JAN.	JANITOR
JST.	JOIST
JT.	JOINT
LAM.	LAMINATED
LBS.	POUNDS
LEV.	LEVEL
LOC.	LOCATION
MAX.	MAXIMUM
M.D.F.	MEDIUM DENSITY FIBERBOARD
MECH.	MECHANICAL
MEMB.	MEMBRANE
MEZZ.	MEZZANINE
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MOD.	MODULE
M.S.	MACHINE SCREW
MTD.	MOUNTED
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.A.D.	OVERALL DIMENSION
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
OPP.	OPPOSITE
O.F.C.I.	OWNER FURNISHED/ CONTRACTOR INSTALLED
O.F.O.I.	OWNER FURNISHED/ OWNER INSTALLED
O.F.V.I.	OWNER FURNISHED/ VENDOR INSTALLED
O.H.	OVAL HEAD
O.H.	OVERHEAD
P. LAM.	PLASTIC LAMINATE
℘	PROPERTY LINE
PARA	PARALLEL
PERP.	PERPENDICULAR
PL.	PLATE
PLY.	PLYWOOD
PLYWD.	PLYWOOD
PT.	PAINT
PTD.	PAINTED
PTN.	PARTITION
Q.T.	QUARRY TILE
QTY.	QUANTITY
R.	RADIUS
RAD.	RADIUS
R.D.	ROOF DRAIN
RE:	REFER TO
REQD.	REQUIRED
RES.	RESILIENT
RESIL.	RESILIENT
R.H.	ROUND HEAD
RM.	ROOM
R.O.	ROUGH OPENING
S.C.	SOLID CORE
SCHED.	SCHEDULE
SECT.	SECTION
S.E.D.	SEE ELECTRICAL DRAWINGS
S.F.	SQUARE FOOT
SHT.	SHEET
SIM.	SIMILAR
S.M.D.	SEE MECHANICAL DRAWINGS
S.M.S.	SHEET METAL SCREW
S.P.D.	SEE PLUMBING DRAWINGS
S.S.	STAINLESS STEEL
S.S.D.	SEE STRUCTURAL DRAWINGS
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
TEMP.	TEMPERED GLASS
THK.	THICK
T.O.	TOP OF
T.O.C.	TOP OF CONCRETE
T.O.S.	TOP OF STEEL
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORIES INC.
U.O.N.	UNLESS OTHERWISE NOTED
V.C.T.	VINYL COMPOSITION TILE
VEN.	VENEER
VER.	VERIFY
VEST.	VESTIBULE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
V.W.C.	VINYL WALL COVERING
W/	WITH
W.C.	WATER CLOSET
W.C.	WALL COVERING
WD.	WOOD
W.P.	WATERPROOF
W.R.	WATER RESISTANT

SYMBOLS LEGEND

N	NORTH INDICATOR	X'-X"	INDICATES LEVEL LINE, CONTROL POINT, OR DATUM
			MATCH LINE
X / X	COLUMN REFERENCE GRID		ALIGN FACE OF FINISH WITH ADJACENT FACE OF FINISH
			LIMIT OF DEMOLITION / NEW CONSTRUCTION
			CENTERLINE
X	KEY NOTE DESIGNATION; RE: KEY NOTE LEGEND	XXX / X'-X"	CLG. HT. AT DESIGNATED LOCATION; TYPICAL CLG. HT. IS 8'-0" U.O.N.
N W E S XXX	DRAWING REFERENCE; ARROW INDICATES DIRECTION OF VIEW DETAIL NUMBER SHEET NUMBER		DOOR DESIGNATION MARK – SEE DOOR SCHEDULE
		XX	WINDOW OR LOUVER DESIGNATION MARK SEE WINDOW SCHEDULE

X / XX.X	DETAIL DRAWING REFERENCE SYMBOL: DETAIL NUMBER TO BE REFERENCED SHEET NUMBER TO BE REFERENCED	X	REVISION DESIGNATION; MOST CURRENT REVISION SHOWN CLOUDED ON DRAWING; RE: REVISION LIST IN TITLE BLOCK
X / XX.X	LARGE SCALE PLAN OR ENLARGED SECTIONAL DETAIL: DETAIL NUMBER TO BE REFERENCED SHEET NUMBER TO BE REFERENCED	XXX XXX XXX XXX	ROOM NAME ROOM NUMBER SQUARE FOOTAGE

PLANNING CODE

PROJECT DESCRIPTION:

PHASE 1:
INTERIOR IMPROVEMENT OF 198 McALLISTER BASEMENT OFFICE WITH NEW WALL CONSTRUCTION, CEILING, AND LIGHTS. RECONFIGURATION OF EXISTING MECHANICAL SYSTEM TO NEW CEILING GRID.
INTERIOR IMPROVEMENT OF 200 McALLISTER 4TH FLOOR CONVERSION OF COMPUTER LAB TO 3 OFFICES, OPEN WORK AREA, AND CONFERENCE ROOM. NEW CEILINGS, POWER, DATA, AV. RELOCATE SPRINKLERS, LIGHTS, AND HVAC AS REQUIRED.
CONVERSION OF 2 STORAGE ROOMS INTO CONFERENCE ROOM AND OPEN WORK AREA

PHASE 2:
INTERIOR IMPROVEMENT OF 198 McALLISTER BASEMENT OFFICE B27 & LOCKER ROOM B25 INTO ONE STORAGE SPACE FOR HIGH DENSITY SHELVING. NEW CEILING AND FLOOR AS REQUIRED. TO BE STARTED WHEN ROOM B21 IS COMPLETE.

PROPERTY LOCATION:	198 McALLISTER STREET SAN FRANCISCO, CA 94102	200 McALLISTER STREET SAN FRANCISCO, CA 94102
OCCUPANCY:	GROUP B – OFFICE AS DEFINED BY CBC SECTION 304	GROUP B – OFFICE AS DEFINED BY CBC SECTION 304
INTENDED USE:	OFFICE (NO CHANGE)	OFFICE (NO CHANGE)
TYPE OF CONSTRUCTION:	TYPE I–B	TYPE I–B
FIRE SPRINKLERS:	FULLY SPRINKLERED	FULLY SPRINKLERED
BUILDING STORIES:	4	6
RENOVATED AREA:	TOTAL BASEMENT 3380 SQ FT	TOTAL 4th FLOOR 1906 SQ FT
BUILDING INCREASES:	NONE	NONE

TOTAL RENOVATED AREA: 5,286 SQ FT

ALL WORK SHALL COMPLY WITH:

1. CODE CLASSIFICATION:
   2013 CALIFORNIA BUILDING CODES TITLE–24
   2013 CALIFORNIA ENERGY CODE
   2013 CALIFORNIA MECHANICAL CODE
   2013 CALIFORNIA PLUMBING CODE
   2013 CALIFORNIA ELECTRICAL CODE
   2013 CALIFORNIA FIRE CODE
   2013 CALIFORNIA ADMINISTRATIVE CODE
   2013 CALIFORNIA GREEN BUILDING CODE, APPENDIX A5 – NONRESIDENTIAL MEASURES

SHEET INDEX

ARCHITECTURAL DRAWINGS

SHEET #	SHEET NAME
G0.0	COVER SHEET
A1.0	GENERAL NOTES
A1.1	BASEMENT PLAN AND REFLECTED CEILING PLAN IN 198 MCALLISTER
A1.2	HIGH DENSITY STORAGE PLANS IN 198 MCALLISTER
A1.4	4th FLOOR PLANS IN 200 MCALLISTER
A1.5	FINISH SCHEDULE/4TH FLOOR STUDY ROOMS IN 200 MCALLISTER
A2.4	4th FLOOR CEILING AND DOOR SCHEDULE
A2.5	4th FLOOR CEILING & POWER PLAN
A6.0	CEILING DETAILS
A7.0	DETAILS

ALTERNATES

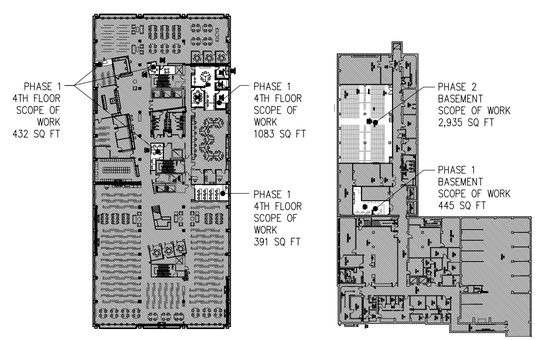
ALTERNATE 1 – THE CONSTRUCTION OF AND FIT OUT OF ROOMS 448 AND 449 INCLUDING MECHANICAL AND ELECTRICAL WORK.

ALTERNATE 2 – SEE MECHANICAL SPECS.

ALTERNATE 3 – SEE MECHANICAL SPECS FOR ALTERNATE 2B.

ALTERNATE 4– THE CONSTRUCTION AND DEMOLITION ASSOCIATED WITH ROOMS 424, 425, AND 427.

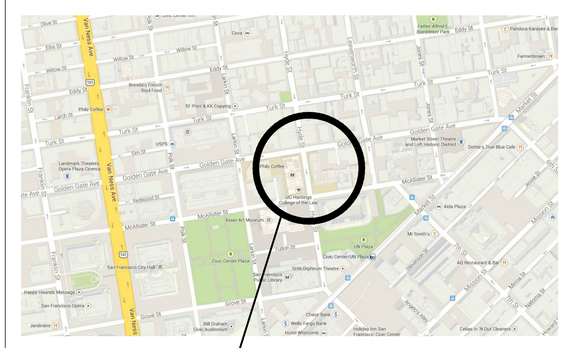
SCOPE OF WORK DIAGRAM



200 McALLISTER

198 McALLISTER

SITE LOCATION MAP



PROJECT LOCATION

200 McALLISTER
198 McALLISTER

MKTHINK

Architects:
MKTHINK
Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **N/A**

Drawing Description:

COVER SHEET

Date:

Drawn By: JT Checked By: JK

Sheet Number:

G0.0

GENERAL NOTES:

1 A.I.A. DOCUMENT 201, GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT, ARE HEREBY INCORPORATED INTO THESE DRAWINGS & SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK.

2 THE WORK SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES.

3 CONTRACTOR SHALL APPLY FOR, OBTAIN & PAY FOR ALL LICENSES & INSPECTIONS AS REQUIRED TO COMPLY WITH ALL STATE, CITY, LOCAL CODES & LAWS.

4 PRIOR TO COMMENCING WORK, THE CONTRACTOR, IN CONFERENCE WITH THE BUILDING MANAGER SHALL PREPARE A LIST OF HIS ACTIVITIES THAT WILL NOT, IN ANY WAY EFFECT THE NORMAL OPERATIONS OF THE BUILDING & NEIGHBORING TENANTS. PROTECTIVE MEASURES & SCHEDULING SHALL BE ESTABLISHED TO MINIMIZE DISRUPTION & PROTECT PROPERTY NOT RELATED TO THIS PROJECT. PROVIDE THE ARCHITECT WITH A COPY OF THE SCHEDULE & DESCRIPTION OF PROTECTION.

5 THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS & DIMENSIONS FOR ACCURACY & CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT IN WRITING & OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK. REQUESTS FOR ADDITIONAL CHARGES WILL NOT BE ENTERTAINED FOR THE CONTRACTOR'S FAILURE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.

6 REFERENCES TO MAKES, BRANDS, AND MODELS IS TO ESTABLISH TYPE AND QUALITY DESIRED. SUBSTITUTIONS OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED IN WRITING BY THE ARCHITECT.

7 THE DESIGN CONCEPT OF THIS PROJECT IS BASED ON THE COLOR, DESIGN & TEXTURE OF FINISHED PRODUCTS SPECIFIED. IF THE CONTRACTOR FAILS TO ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATION THE ARCHITECT WILL NOT ENTERTAIN ANY REQUEST FOR MATERIAL SUBSTITUTION. INSTEAD, THE CONTRACTOR SHALL PROVIDE & INSTALL TEMPORARY FINISHES OR MATERIALS SATISFACTORY TO THE ARCHITECT & PROVIDE & INSTALL THE SPECIFIED FINISHES OR MATERIALS UPON THEIR ARRIVAL, MONIES WILL BE WITHHELD PENDING SATISFACTORY INSTALLATION OF SPECIFIED FINISHES & MATERIALS.

8 THE CONTRACTOR SHALL CONFIRM ALL LEAD TIMES FOR FINISH MATERIALS AT TIME OF BIDDING TO ASSURE AVAILABILITY OF MATERIALS FOR THE PROJECT, AS SCHEDULE REQUIRES. ANY COST FOR SPECIAL HANDLING OR AIR FREIGHT OF MATERIALS IN ORDER TO MEET REQUIRED DEADLINES IS THE RESPONSIBILITY OF THE CONTRACTOR.

9 ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.

10 THE CONTRACTOR SHALL PROMPTLY REPORT TO THE ARCHITECT DISCREPANCIES FOUND BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE DRAWINGS SO THAT CLARIFICATIONS MAY BE ISSUED.

11 THE CONTRACTOR SHALL PREPARE ALL EXISTING SURFACES AS REQUIRED TO RECEIVE SPECIFIED FINISH.

12 SHOP DRAWINGS & SUBMITTAL MUST BE PROVIDED FOR ARCHITECT'S APPROVAL BEFORE BEGINNING ANY MILLWORK FABRICATION AND PRIOR TO ORDERING ALL MATERIALS.

13 THE CONTRACTOR SHALL PATCH OR OTHERWISE FURNISH AND INSTALL MATERIALS REQUIRED TO MATCH EXISTING CONDITIONS AS NOTED & AS A RESULT OF THE WORK. ANY CONDITIONS REQUIRING DETAILING SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NEW GYPSUM BOARD CONSTRUCTION MEETING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH, WITH NO VISIBLE JOINTS SHOWING.

14 GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY OF ELEVATORS AND/OR LOADING DOCKS FOR THE PURPOSES OF DELIVERY AND ALSO AS TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS, TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATION. ALL WORK SCHEDULING SHALL BE SUBMITTED TO BUILDING MANAGER AND TENANT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.

15 ALL HEIGHTS ARE DIMENSIONED FROM TOP OF FINISH FLOOR (A.F.F.), UNLESS OTHERWISE NOTED.

16 SIEMENS FIRE LIFE SAFETY DEVICES AND CONNECTIONS TO BE USED.

17 NOT USED.

18 ALL CONCEALED BLOCKING TO BE FIRE-TREATED WOOD OR SHEETMETAL.

19 IN CASE OF CONFLICT BETWEEN ARCHITECTS AND ENGINEERS DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECTURAL DRAWINGS SHALL GOVERN AND THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT REGARDING THESE DISCREPANCIES.

20 CONTRACTOR SHALL COORDINATE WITH TENANT/OWNER THE SCHEDULE FOR ALL TELEPHONE COMPANY INSTALLATIONS.

21 ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE. WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF BUSINESS FOR TENANTS SHALL BE DONE ON AN OVERTIME. NON-REGULAR BUSINESS HOURS BASIS TO BE COORDINATED WITH THE BUILDING MANAGER AND TENANT.

22 CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ALL UTILITIES DETERMINED IN THE COURSE OF CONSTRUCTION AS BEING NECESSARY TO BE REMOVED WHICH HAVE NOT OTHERWISE BEEN NOTED FOR REMOVAL IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH ARCHITECT, OWNER & TENANT. WHETHER PREDETERMINED IN THE CONSTRUCTION DOCUMENTS OR DETERMINED LATER IN FIELD, DISCONNECT, CUT BACK TO SOURCE, AND CAP ALL UTILITY SERVICES REMOVED. SEAL ALL PENETRATIONS CREATED BY REMOVAL OF UTILITES TO MATCH ADJACENT CONSTRUCTION AND FINISH.

23 "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

24 PRIOR TO DISCONNECTION OF ANY ELECTRICAL RISER, LIFE SAFETY DEVICE, HVAC RISER, ETC, BUILDING REPRESENTATIVE IS TO BE NOTIFIED. CONTRACTOR TO SUBMIT A WRITTEN REQUEST FOR EACH SHUT DOWN. ADEQUATE TIME IS TO BE GIVEN FOR REVIEW AND APPROVAL OF SUCH REQUESTS. CONTRACTOR IS TO ADHERE TO APPROVED SCOPE OF WORK & SCHEDULE DURING EACH APPROVED SHUT DOWN.

25 "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR (OR SIM.) CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.

25A VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND WORK WITHIN "BUILDING CORE AREAS" SHALL BE NIC UNLESS OTHERWISE NOTED.

26 WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH TENANT AND BUILDING MANAGER TO ENSURE SECURITY.

27 THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES. PROVIDE TEMPORARY SUPPORT IF NECESSARY.

28 THE SCOPE OF WORK AND ADJACENT AREAS (INCLUDING "PATH OF ACCESS" AND LOBBY WHERE IT APPLIES TO THIS WORK) SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.

29 ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, BEFORE PROCEEDING.

30 ALL WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER/TENANT OR UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

31 EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL EFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ADDITIONAL ALLOWANCES SHALL BE MADE AFTER THE CONTRACT IS SIGNED FOR ANY EXTRA EXPENSES DUE TO FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH EXAMINATION.

32 CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE CONSTRUCTION DRAWINGS. ARRANGEMENTS TO VISIT THE PREMISES SHOULD BE MADE WITH THE BUILDING MANAGEMENT.

33 CONTRACTOR SHALL PROTECT THE AREA, NEW AND/OR EXISTING MATERIALS AND ALL FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC. AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND/OR EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE TENANT AT THE EXPENSE OF THE GENERAL CONTRACTOR.

34 ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED IN ADEQUATE TIME TO ALLOW FOR REVIEW AND APPROVAL BY THE ARCHITECT AND FOR THE POSSIBILITY OF HAVING THE SUBSTITUTION REJECTED AND THUS NEEDING TO PROVIDE THE ORIGINAL SPECIFIED ITEM. ITEMS SHALL NOT BE PURCHASED OR INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT.

35 ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL CONFORM TO ALL GOVERNING BUILDING CODES AND REGULATIONS. ALL FINISH MATERIALS MUST MEET ALL APPLICABLE FIRE, LIFE SAFETY AND BUILDING CODES.

36 ALL WORK LISTED, SHOWN OR IMPLIED, ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS. SUBCONTRACTORS AND/OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.

37 THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (2 SET OF PRINTS) FOR FABRICATED ITEMS, CUTS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION/PURCHASING, ETC. PROVIDE ENOUGH CUT SHEETS AND/OR SAMPLES SO THAT THE ARCHITECT CAN RETAIN (2) FOR RECORD AND DISTRIBUTION. THIS APPLIES TO ALL ABOVE STANDARD ELEMENTS ONLY.

38 THE GENERAL CONTRACTOR SHALL BE REQUIRED TO SUBMIT ALL SMOKE DENSITY AND FLAME SPREAD U.L. APPROVED (OR EQUIVALENT AS ACCEPTED BY THE BUILDING DEPARTMENT). LABEL CERTIFICATES TO THE BUILDING DEPARTMENT WHEN AND WHERE REQUESTED BY THE BUILDING DEPARTMENT.

39 THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOBSITE DURING ALL PHASES OF CONSTRUCTION FOR THE USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS. THE GC IS TO PROVIDE A SET OF AS-BUILT DOCUMENTS TO THE TENANT AND OWNER.

40 THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING THE WORK OR COMMON AREAS OF THE BUILDING IN ANY FINISHED AREAS IN OR OUTSIDE JOBSITE, THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE.

41 UPON COMPLETING THE JOB, THE CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOVE-IN. THIS IS TO INCLUDE CLEANING OF ALL GLASS (INCLUDING INSIDE OF EXTERIOR GLASS) AND FRAMES, BOTH NEW AND EXISTING.

42 RESOLUTION OF ALL QUESTIONS OR VARIANCES MUST BE MADE THROUGH THE ARCHITECT AND CONFIRMED IN WRITTEN FORM.

43 REPETITIVE FEATURES NOT NOTED ON DRAWING SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

44 PUNCH LIST REVIEW - IMMEDIATELY PRIOR TO MOVE-IN, CONTRACTOR WILL SUBMIT HIS PUNCH LIST (PER AIA CONTRACT A201, SECTION 9.8.2) TO TENANT ARCHITECT AND BUILDING REPRESENTATIVE FOR A WALK THROUGH AT THE SITE.

FINISH NOTES:

1 ENSURE THAT SURFACES THAT ARE TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.

2 UNLESS OTHERWISE NOTED PROVIDE MINIMUM 3-COAT PAINT SYSTEMS AS SPECIFIED FOR EACH SUBSTRATE; REFER TO FINISH SCHEDULE FOR COLORS AND SHEENS.

3 ALL WALL PAINT SHALL BE LATEX, EGGSHELL FINISH, U.O.N. PAINT SYSTEM: ONE COAT PRIMER 2 COATS FINISH PAINT.

4 REPAIR AND PREPARE EXISTING SURFACES SHOWN TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.

5 TRANSPARENT FINISHED WOOD DOORS, ARCHITECTURAL WOODWORK, AND CABINETRY SHALL BE SHOP FINISHED, AS NOTED.

6 THE FLOOR UNDER THE CARPETED AREAS MUST BE FREE OF SEALERS, CURING COMPOUNDS, OIL, DIRT AND DUST.

7 WHERE MORE THAN ONE (1) SHEET VINYL COLOR HAS BEEN PROVIDED FOR FLOORING, CONTRACTOR TO REFER TO LAYOUT, U.O.N.

8 CARPET SEAMING DIAGRAM TO BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PLACING ORDER.

9 ALL SURFACES SHALL BE IN PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. PAINT GRADE WOOD, OR METAL SHALL BE HAND SAND PAPERED AND DUSTED CLEAN. ALL KNOT HOLES, PITCH POCKETS OR SAPPY PORTIONS SHALL BE SCRAPED AND FITTED , OR SEALED WITH SEALER. NAIL HOLES, CRACKS OR DEFECTS SHALL BE CAREFULLY PUTTIED AFTER FIRST COAT WITH PUTTY MATCHING COLOR OF STAIN OR PAINT FINISH. REMOVE ANY OIL OR GREASE WITH MINERAL SPIRITS.

10 INTERIOR GYPSUM WALLBOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING PROCESS.

11 ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING.

12 THE CONTRACTOR SHALL, UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPLATTERED ON EXPOSED ADJACENT SURFACES.

13 PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH MATERIALS SUBMIT SAMPLES TO ARCHITECT FOR REVIEW IN CONFORMANCE WITH SPECIFIED PROCEDURES. ALLOW TIME FOR SUBMITTAL REVIEW AND FOR RESUBMITTALS IF REQUIRED.

14 CONTRACTOR SHALL SUPPLY 5% OVER ENTIRE SQUARE FOOTAGE OF CARPET AND RESILIENT FLOORING TO TENANT FOR FUTURE PATCHING STOCK.

15 ALL NEW AND EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED BY CONTRACTOR INVOLVED AT HIS COST WITH NO COST TO OWNER AND/OR TENANT.

16 ALL METAL SURFACES SUCH AS ACCESS DOORS STRUCTURAL STEEL COLUMNS , BRACING AND SEISMIC FITTINGS, ETC. SHALL RECEIVE ONE COAT METAL PRIMER AND 2 COATS ALKYD BASED PAINT. COLOR TO MATCH ADJ. SURFACES OR AS SPECIFIED IN THE FINISH SCHEDULE.

17 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE AVAILABILITY AND DELIVERY DATES OF ALL FINISH MATERIALS. NO SUBSTITUTIONS OF FINISH MATERIALS WILL BE MADE WITHIN SIX WEEKS OF THE SCHEDULED COMPLETION DATE. ALL FINISH MATERIALS WILL BE ON SITE AT LEAST TWO WEEKS PRIOR TO INSTALLATION. ANY PROBLEMS REGARDING AVAILABILITY OF FINISH MATERIALS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.

18 THE CONTRACTOR SHALL EXAMINE ALL FINISH SURFACES AFTER COMPLETION OF WORK (INCLUDING TELEPHONE INSTALLATION & CARPET) AND PROCEED WITH "TOUCH-UP"

19 THE CONTRACTOR SHALL MODIFY EXISTING FLOOR SURFACES AS REQUIRED TO INSTALL NEW FLOORING MATERIALS THUS PREVENTING NOTICEABLE LUMPS, OR DEPRESSIONS WHICH MAY CAUSE UNUSUAL WEAR TO NEW MATERIALS.

20 PAINT ALL ACCESS PLATES & PANEL BOXES TO MATCH ADJACENT PAINTED SURFACES.

21 PROVIDE AN "H" CUT AT CARPET ALL OPEN POWER AND DATA FLOOR MONUMENTS.

22 ALL (E) AND/OR RELOCATED DOORS SHALL BE CLEANED FREE OF ALL FOREIGN MATERIAL, SANDED AND REFINISHED TO RECEIVE BUILDING STANDARD FINISH.

23 THE CONTRACTOR SHALL SUBMIT 8-1/2" X 11" BRUSHOUTS AND/OR SAMPLES OF ALL FINISH TYPES AND COLORS TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH INSTALLATION AND/OR APPLICATION.

24 ALL FINISH MATERIALS MUST MEET ALL APPLICABLE FIRE, LIFE SAFETY, AND BUILDING CODES.

25 CAULKS, SEALANTS, ADHESIVES, PAINTS, STAINS, AEROSOLS, AND CAOTINGS WILL BE COMPLIANT WITH LIMITS FOR VOC AND OTHER COMPOUNDS AS PER CALGREEN SECTION 5.504.4.

26 PROTECT CARPET AND REPLACE AS NEEDED.

POWER / DATA NOTES:

1 SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND INFORMATION. WHERE CONFLICTS OCCUR, ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE FOR LOCATION.

2 INDICATED DIMENSIONS ARE TO THE CENTERLINE OF THE OUTLET OR CLUSTER OF OUTLETS , UNLESS OTHERWISE NOTED; GANG COVER PLATES SHALL BE ONE- PIECE TYPE, U.O.N.

3 DO NOT MOUNT OUTLETS BACK-TO-BACK ON OPPOSITE SIDES OF PARTITION; MAINTAIN MINIMUM 3 INCH SEPARATION AND PACK OUTLETS WITH ACOUSTIC TREATMENT.

4 VERIFY ALL EQUIPMENT MOUNTING REQUIREMENTS OF ALL ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.

5 ALL CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY ARCHITECT AND COORDINATED WITH BUILDING MANAGER, FURNITURE DEALER AND TENANT PRIOR TO CORING.

6 COORDINATE INSTALLATION OF TELEPHONE AND SECURITY SYSTEMS UNLESS OTHERWISE NOTED.

7 ARCHITECTURAL DRAWINGS ARE SCHEMATIC IN NATURE. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COMPLYING WITH ALL APPLICABLE CODES, FOR PROPER SIZING AND CIRCUITING OF WORK.

8 REMOVE ALL FLOOR MONUMENTS PRIOR TO CARPET INSTALLATION. REMOVE COVER PLATES FROM ALL PREVIOUSLY CAPPED OUTLETS. ALL CAPPED OUTLETS ARE TO BE FLUSH WITH FLOOR SURFACE.

9 ALL NEW DEDICATED OUTLETS SHALL BE IDENTIFIED BY THE LETTER "D". THE HALF OF EACH FOURPLEX OUTLET THAT IS TO BE ON A DEDICATED CIRCUIT SHALL BE IDENTIFIED BY A "D". ALL DEDICATED OUTLETS TO BE COLORED ORANGE. INCLUDE OUTLET ID WITH PANEL AND BREAKER NUMBER.

10 OBTAIN EQUIPMENT SPECIFICATIONS, INCLUDING POWER AND INSTALLATION REQUIREMENTS FROM TENANT TO ENSURE PROPER REQUIREMENTS ARE MET.

11 ALL ELECTRICAL WORK SHALL CONFORM TO CURRENTLY ADOPTED U.B.C. WITH SAN MATEO AMENDMENTS AND OTHER ORDINANCES OF CITY, STATE AND FEDERAL CODES.

12 ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORIES.

ALL FLOOR PENETRATIONS SHALL BE FIREPROOFED AS REQUIRED BY CODE.

13 ELECTRICAL MECHANICAL & PLUMBING DESIGN/BUILD SUBCONTRACTOR SHALL FURNISH AND INSTALL COMPLETE, ALL MATERIALS, EQUIPMENT AND LABOR, AS SHOWN AND AS NECESSARY FOR COMPLETE WORKABLE SYSTEM. ALL MATERIALS SHALL BE NEW AND FREE FROM DEFECTS.

14 CONTRACTOR TO VERIFY SPECIAL CONSTRUCTION REQUIRING SPECIAL OUTLETS, SWITCHES OR MOUNTING ON ONE HOUR FIRE RATED WALLS.

15 NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS, M.E.P. DRAWINGS AND FIELD CONDITIONS.

16 ELECTRICAL MECHANICAL AND PLUMBING CONTRACTORS ARE RESPONSIBLE FOR ALL INFORMATION ON ARCHITECTURAL DRAWINGS.

17 GENERAL CONTRACTOR IS TO COORDINATE ALL SUB CONTRACTORS FOR COMMUNICATIONS\DATA TO VERIFY REQUIREMENTS AND TO SCHEDULE PULLING OF CABLES. ALL ELECTRICAL AND TELEPHONE INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL BUILDING DEPARTMENT AND FIRE DEPARTMENT CODES AND ORDINANCES AS WELL AS TITLE 24 ENERGY REQUIREMENTS.

18 EACH CONDUIT TO RECEIVE ONLY ONE TYPE OF CABLE; TELEPHONE, ELECTRICAL, ETC. U.O.N.

19 LOCATE SWITCHES AT +44" A.F.F., U.O.N.

20 ALL OUTLETS TO BE MOUNTED 18" AFF, U.O.N.

21 ALL WALL OUTLETS ARE TO BE MOUNTED VERTICALLY, U.O.N. ANY ELECTRICAL WALL OUTLET HIGHER THAN 18" SHALL BE MOUNTED HORIZONTALLY-U.O.N.

22 A MINIMUM OF 2" CLEAR MUST BE MAINTAINED FOR ANY FLOOR OUTLET ADJACENT TO A WALL, U.O.N.

23 ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE CONDUIT RUNS, CIRCUITING, AND WIRING AS REQUIRED TO PROVIDE COMPLETE ELECTRICAL INSTALLATION. AS-BUILT RECORDS OF CIRCUIT AND WIRING SHALL BE PREPARED AT THE COMPLETION OF THE PROJECT.

24 ALL OUTLETS AT OR ABOVE COUNTERS WITHIN 6'-0" OF A SINK SHALL BE GFI TYPE.

25 ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY LIGHTING THROUGHOUT AREA OF WORK.

26 ALL ELECTRICAL WIRING IN EXPOSED CEILING, WALL AND OR CEILING LOCATIONS SHALL UTILIZE THIN WALL METAL CONDUIT (EMT) OR AS REQUIRED BY CODE. THE USE OF FLEXIBLE METAL CONDUIT RUNS IN EXPOSED CEILING AREAS SHALL BE POSITIONED AND SECURED SO AS TO BE AS INCONSPICUOUS AS POSSIBLE. DIAGONAL RUNS ACROSS THE UNDERSIDE OF THE CEILING FRAMING SHALL NOT BE PERMITTED. WHERE CONDUIT RUNS PERPENDICULAR TO JOISTS, RUNS SHALL BE LOCATED ADJACENT TO BEAMS WHERE CONDUIT RUNS PARALLEL TO JOISTS, RUNS SHOULD BE LOCATED AND MOUNTED TO THE SIDES OF THE JOISTS. PENETRATIONS THROUGH BLOCKING AT BEAM LOCATIONS MAY BE PERMITTED SUBJECT TO NOTE 6 ABOVE.

29 TELEPHONE AND DATA CABLE TO BE CATEGORY 5 CABLE. ALL PORTS TO HAVE REDUNDANT WIRING U.O.N. TELEPHONE AND DATA CABLE TO BE DISTINGUISHED BY COLOR.

30 ALL OUTLETS, SWITCHES, AND COVERPLATES TO BE WHITE U.O.N.

31 ADD GE LIGHTING CONTROL INTERFACE. ALL LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLS.

32 ALL ELECTRICAL AND TELEPHONE INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL BUILDING DEPARTMENT AND FIRE DEPARTMENT CODES AND ORDINANCES AS WELL AS TITLE 24 ENERGY REQUIREMENTS

CEILING NOTES:

1 REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR DESIGN OF THESE SYSTEMS (DUCT SIZES, CIRCUITING, ETC.). HOWEVER, LOCATIONS OF FIXTURES, SWITCHES, ETC. SHALL BE AS SHOWN ON ARCHITECTURAL PLANS AND ELEVATIONS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING CONSTRUCTION.

2 VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, DUCTS, STRUCTURAL ELEMENTS, AND OTHER APPLICABLE ITEMS. ARRANGE AND MODIFY NON-VISIBLE ITEMS TO INSURE ADEQUATE CLEARANCES FOR CEILING LAYOUT AS SHOWN.

3 IN AREAS WITH ACOUSTICAL CEILING TILE, ALL REGISTERS AND LIGHTING FIXTURES SHALL OCCUR WITHIN GRID LINES AND SPRINKLER HEADS (WHERE APPLICABLE), INCANDESCENT FIXTURES, OR OTHER CEILING ELEMENTS SHALL BE LOCATED ON THE CENTERLINE OF ACOUSTICAL UNITS, U.O.N.

4 G.C. TO COORDINATE WITH BUILDING OWNER ANY ACCESS ISSUES WITH REGARDS TO BASE BUILDING HVAC, ELECTRICAL, PLUMBING, AND LIFE SAFETY THAT MUST REMAIN UNOBSTRUCTED AND/OR REASONABLY ACCESSIBLE FOLLOWING TENANT MOVE IN.

5 CEILING FIXTURES ARE LOCATED IN ACCORDANCE WITH CEILING GRID SHOWN ON THE RCP. IF INSTALLED CEILING GRID DIFFERS FROM WHAT IS SHOWN ON THIS DRAWING, CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ARCHITECT THE FIXTURE LOCATIONS WITHIN THOSE SPACES. UNAPPROVED WORK IS SUBJECT TO REINSTALLATION WITHOUT ADDITIONAL COST TO THE PROJECT.

6 QUANTITY AND APPROXIMATE LOCATIONS OF THERMOSTATS SHALL BE DETERMINED BY M.E.P. DESIGN BUILD CONTRACTOR. LOCATIONS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.

7 LIGHT SWITCHING SHALL CONFORM TO TITLE 24 REQUIREMENTS. DOUBLE SWITCH WITH EACH SWITCH CONTROLLING 50% OF LAMPS PER FIXTURE ALL ROOMS/AREAS OF GREATER THAN 100 SQ. FT.

8 NOT USED

9 CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS WITH SUSPENDED GRID SYSTEM OR HVAC, PLUMBING, LIFE SAFETY, ETC. PRIOR TO INSTALLATION.

10 ABSOLUTELY NO CHANGES ARE TO BE MADE TO LAYOUT OF CEILING FIXTURES WITHOUT REVIEW AND APPROVAL BY THE ARCHITECT.

11 WHERE THE ACOUSTIC CEILING TILES AND GRID SYSTEM ARE FOR NEW DESIGN AND CONSTRUCTION ALL CEILING TILES INSTALLED SHALL BE NEW MATERIAL AND FREE FROM DEFECTS AND ANY CAULKING MATERIAL.

12 ELECTRICAL CONTRACTOR SHALL FIELD CHECK THE PREMISES AND VERIFY ALL CLEARANCES AS REQUIRED FOR ANY AND ALL LIGHTING FIXTURES BEFORE PROCEEDING WITH ANY INSTALLATION. REPORT ANY DISCREPANCIES TO ARCHITECT OR TENANT REPRESENTATIVE FOR RESOLUTION BEFORE ANY FIXTURES ARE INSTALLED ARCHITECT RESERVES THE RIGHT TO RELOCATE FIXTURES SHOWN ON PLAN TO INSURE PROPER DISTRIBUTION OF LIGHT IF CONTRACTOR DOES NOT POINT OUT DISCREPANCY BEFORE ANY FIXTURES ARE INSTALLED.

13 ELECTRICAL, MECHANICAL AND PLUMBING CONTRACTORS MUST COORDINATE INSTALLATION AND REQUIRED CLEARANCES OF THEIR EQUIPMENT.

14 THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR ACHIEVING THE NECESSARY CLEARANCES FOR ALL SPECIFIED ITEMS ON THE DRAWINGS.

15 MECHANICAL, ELECTRICAL AND PLUMBING DESIGN-BUILD DRAWINGS RESPONSIBLE FOR SPECIFICATIONS FOR LAYOUTS OF AND EQUIPMENT AND DESIGN OF THESE RESPECTIVE SYSTEMS INFORMATION INCLUDING BUT NOT LIMITED TO LIGHTING, WIRING, SWITCHING AND HVAC.

16 ALL WIRING FOR LIGHT FIXTURES, EXIT SIGNS OR OTHER ELECTRICAL DEVICES SHALL BE U.L. APPROVED AND INSTALLED IN ACCORDANCE WITH APPROPRIATE CODES.

17 ALL CEILING FIXTURES SHALL BE CERTIFIED U.L. APPROVED PRIOR TO INSTALLATION.

18 MOUNTING HEIGHTS FOR THERMOSTATS SHALL BE 44" A.F.F. U.O.N.

19 LIGHT SWITCHES LOCATED ON WALL PERPENDICULAR TO DOOR SHALL BE 39" CENTERLINE FROM FACE OF DOOR AT 44" A.F.F.

20 WHERE SWITCHES ARE SHOWN ADJACENT TO EACH OTHER, THEY SHALL BE GANGED AND COVERED BY A SINGLE PLATE, U.O.N.

PARTITION NOTES:

1 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT IMMEDIATELY. CONSTRUCTION PLAN BY ARCHITECT SUPERSEDES ALL OTHER PLANS.

2 ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET (AND CUSHION), CERAMIC TILE, VCT, ETC.

3 DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, UNLESS OTHERWISE NOTED.

4 COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING ONLY, VERIFY EXACT LOCATIONS IN FIELD.

5 CONTRACTOR SHALL CHALK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT, CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.

6 AT ACOUSTICAL PARTITIONS, STAGGER ALL JOINTS IN GYPSUM BOARD AND PROVIDE LOW DENSITY ACOUSTICAL BATT INSULATION: FOUR POUNDS PER CUBIC INCH, 2-1/2" THICK, UNFACED FIBERGLASS INSULATION OWENS-CORNING NOISE BARRIER, USG THERMAFIBER OR APPROVED EQUAL. WHERE BATT INSULATION IS INDICATED.

7 VERIFY ALL DIMENSION SHOWN ON DRAWINGS BY TAKING FIELD MEASUREMENTS; PROPER FIT AND ATTACHMENT OF ALL PARTS ARE REQUIRED. BEFORE COMMENCING WORK, CHECK ALL LINES AND LEVELS INDICATED AND OTHER SUCH WORK AS HAS BEEN COMPLETED. SHOULD THERE BE ANY DISCREPANCIES, REPORT IMMEDIATELY TO THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS.

8 CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL ELECTRICAL AND PLUMBING DESIGN BUILD SUB CONTRACTORS AND REPORT IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INCURRED DUE TO LACK OF PROPER COORDINATION.

9 ALL PARTITIONS SHALL BE ANCHORED FIRMLY AND BRACED AS REQUIRED BY CODE. SEE DETAILS.

10 ALL GLAZING SHALL MEET REQUIREMENTS OF GOVERNMENTAL CODES AND ORDINANCES, AND MEET DESIGN STRESS REQUIREMENTS FOR SIZE. SUBMIT SAMPLES OF GLASS TO ARCHITECT FOR REVIEW PRIOR TO ORDERING, FOR ABOVE STANDARD DETAILS ONLY.

11 CONTRACTOR WILL INSPECT AND LEVEL FLOOR WHERE REQUIRED, AND INSTALL "LEVELING" UNDERLAYMENT AT VCT, WOOD FLOORS AND BUILT-IN FILE LOCATIONS TO ASSURE LEVEL SURFACE AND ALIGNMENT WITH ADJACENT CARPET AND/ OR PAD, UNLESS OTHERWISE NOTED.

12 ALL WORK SHALL BE INSTALLED AS SHOWN ON DRAWINGS PLUMB, LEVEL, TRUE TO LINE AND SECURELY FASTENED OR ANCHORED.

13 ALL MILLWORK SHALL CONFORM TO THE STANDARDS OF THE W.I.C. FOR QUALITY AND CRAFTMANSHIP. STANDARD CLASSIFICATIONS: P. LAM. -W.I.C. CUSTOM. CUSTOM WD. - W.I.C. PREMIUM.

14 NOT USED.

15 CONTRACTOR SHALL INSTALL DOORS COMPLETE WITH ALL HARDWARE FITTINGS AND ACCESSORIES AS REQUIRED FOR SPECIFIC INSTALLATION AND FURNISH ANY SPECIAL ITEMS REQUIRED FOR CODE CONFORMANCE (SUCH AS ADA) AT EVERY DOOR LOCATION. SPECIFY SCHLAGE HARDWARE TO MATCH EXISTING.

16 ALL DOORS TO BE UNDERCUT 1/4" OVER CARPET AND VINYL TILE (EXCEPT FIRE-RATED DOORS) AT FINISH FLOORS.

17 ALL LABELED (FIRE RATED) DOORS SHALL BE INSTALLED WITH MINIMUM CLEARANCE ABOVE THRESHOLD OR ABOVE FINISH FLOOR.

18 ALL DOORS DESIGNATED TO BE FIRE-RATED SHALL BE LABELED AS REQUIRED BY CODE.

19 THE FINISH HARDWARE SUPPLIER SHALL EXAMINE THE DRAWINGS, SCHEDULES, AND SPECIFICATIONS AND FURNISH PROPER HARDWARE WHETHER LISTED OR NOT. HE SHALL ALSO SUPPLY A COMPLETE HARDWARE LIST AND SCHEDULE TO THE ARCHITECT FOR REVIEW.

20 ALL HARDWARE SHALL BE INSTALLED ACCORDING TO THE STANDARDS OF THE SPECIFIC MANUFACTURERS USED.

21 ALL FRAMES TO HAVE DOOR SILENCERS.

22 REFER TO DOOR SCHEDULE, DOOR TYPES AND FINISH HARDWARE GROUPS FOR SPECIFIC DOOR REQUIREMENTS.

23 ALL PERMANENT AND TEMPORARY BLOCKING, HARDWARE, AND ALL OTHER MISCELLANEOUS MATERIAL, TOOLS, AND TECHNIQUES IMPLIED BY THE DRAWINGS SHALL BE INCLUDED IN THIS WORK SO AS TO PRODUCE A COMPLETE AND FINISHED PRODUCT

24 ALL INTERIOR OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS SHALL BE SEALED , CAULKED, GASKETED OR WEATHER-STRIPPED TO LIMIT AIR LEAKS.

25 WHERE GYPSUM WALL BOARD MEETS EXISTING CORNER, REMOVE (E) METAL CORNER BEAD PRIOR TO INSTALLATION OF NEW GYPSUM WALLBOARD.

26 ALIGN NEW PARTITION SURFACES WITH THE (E) ADJACENT OR ADJOINING SURFACES. TAPE AND SAND THE JOINTS SMOOTH WITHOUT ANY VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES.

27 COORDINATE LOCATIONS AND PROVIDE ADEQUATE BLOCKING WITHIN PARTITIONS FOR ALL CABINETS, COUNTERS, SHELVES AND ANY WALL MOUNTED ITEMS.

28 CHECK CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND COORDINATION BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR ANY OTHER COORDINATION QUESTIONS, OBTAIN A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.

29 ALL NEWLY INSTALLED GYPSUM WALL BOARD PARTITIONS SHALL BE NON- TEXTURED, SMOOTH WALL FINISH U.O.N.

MKTHINK

Architects:
MKTHINK
Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **N/A**

Drawing Description:
GENERAL NOTES

Date:
Drawn By: -- Checked By: --

Sheet Number:
A1.0

MKTHINK

Architects:

MKTHINK

Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

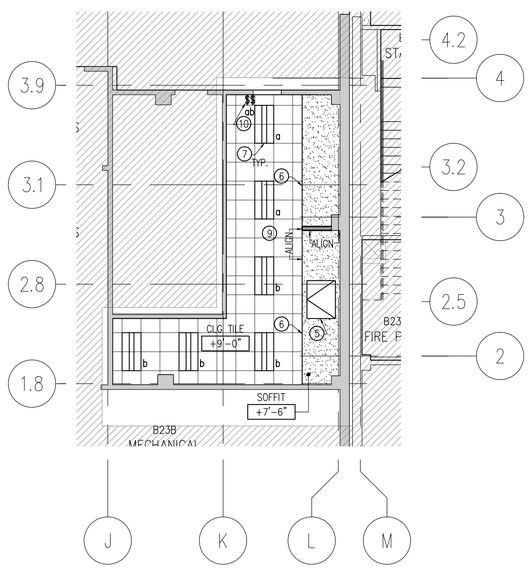
Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

NOTE ON EGRESS/ACCESSIBILITY

EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE TO USE, OCCUPANCY, OR EGRESS PATH.

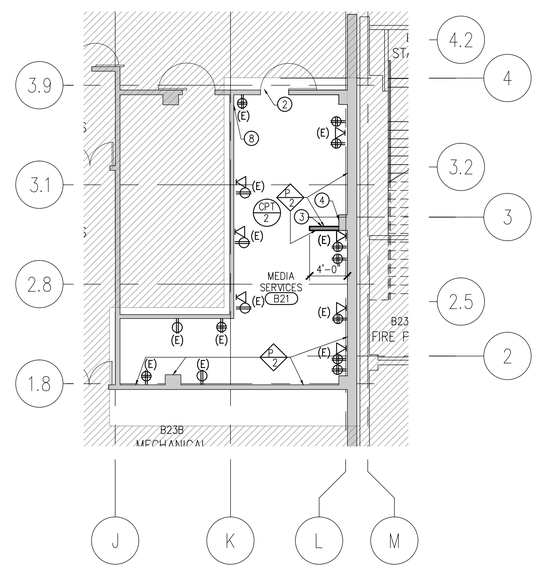
OCCUPANT LOADS

USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
MEDIA SERVICES OFFICE B21	445	1:100	4	1	1	32"	36"



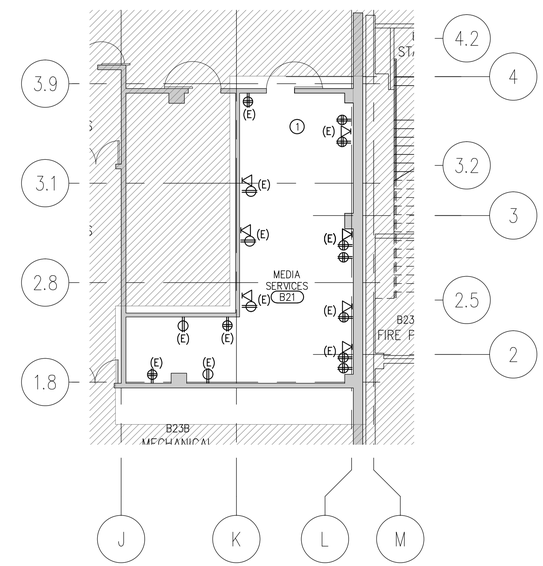
REFLECTED CEILING PLAN 3

Scale: 1/8" = 1'- 0"



PLAN 2

Scale: 1/8" = 1'- 0"



EXISTING/DEMOLITION PLAN 1

Scale: 1/8" = 1'- 0"

PLAN KEYNOTES

1. REMOVE EXISTING CARPET.
2. EXISTING DOOR TO REMAIN.
3. NEW WALL PARTITION, TYPE C. SEE 2/A7.0.
4. REMOVE EXISTING FIRE EXTINGUISHER, PAINT AND PATCH WALL TO MATCH EXISTING.
5. NEW 3'X4' CEILING ACCESS PANEL, COORDINATE LOCATION WITH TELEPHONE EQUIPMENT. PAINT TO MATCH CEILING.
6. NEW GYPSUM BOARD SOFFIT. SEE 6/A6.0. ALIGN FACE WITH NEW WALL. PAINT P-6.
7. NEW LED LIGHT, SEE LEGEND.
8. CUT IN NEW FIRE EXTINGUISHER CABINET, TOP OF CABINET TO BE 60" AFF. ALTA 7063-DV SEMI-RECESSED, STAINLESS STEEL, VERTICAL BLACK LETTERING
9. REUSE EXISTING REGISTERS AND RETROFIT WITH FLEXIBLE DUCTS TO NEW CEILING GRILLS.
10. SWITCH LIGHTS AS SHOWN.

GENERAL NOTES

1. REMOVE ALL EXISTING LIGHTS. RETURN TO OWNER.
2. ALLOW FOR PATCHING OF EXISTING WALLS AS NEEDED.
3. PAINT WALLS P-1 UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE, 3/A1.5.
4. SAVE REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER.
5. NEW RUBBER BASE ON ALL WALLS. SEE FINISH SCHEDULE FOR SPEC.
6. SEE SHEET A6.0 FOR CEILING DETAILS.
7. SEE SHEET A7.0 FOR WALL PARTITION TYPES.
8. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND HAVE MOTION SENSORS.
9. SEE 3/A1.5 FOR FINISH SCHEDULE.

LEGEND

- EXISTING INTERIOR & EXTERIOR WALL
- NEW FULL HEIGHT INTERIOR WALL
- WALL TO BE REMOVED
- DATA PORT
- QUAD OUTLET
- DUPLEX OUTLET
- ARMSTRONG CEILING SYSTEM — 24"x 24" SQUARE TEGULAR TILES, MATCH BUILDING STANDARD.
- 2'X4' LIGHT — COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS.
- CEILING ACCESS PANEL

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **1/8" = 1'-0"**

Drawing Description:
BASEMENT PLAN AND RCP IN 198 McALLISTER

Date:

Drawn By: -- Checked By: --

Sheet Number:

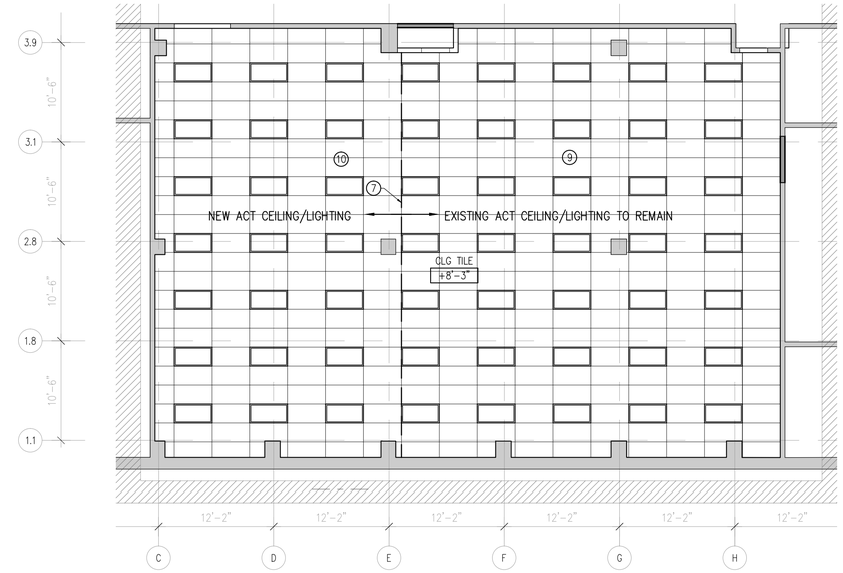
A1.1

NOTE ON EGRESS/ACCESSIBILITY

EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE IN OVERALL BUILDING USE. CHANGE IN USE OF B27 FROM OFFICE (B) TO ACCESSORY STORAGE (S-1).

OCCUPANT LOADS

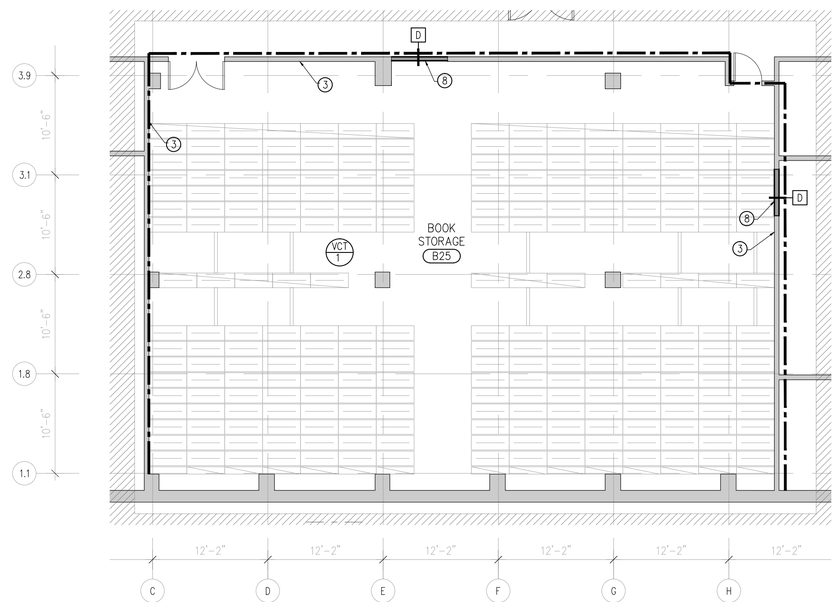
USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
HIGH DENSITY STORAGE B25	2,935	1:300	10	1	2	32"	35" & 71"



REFLECTED CEILING PLAN

Scale: 1/8" = 1'- 0"

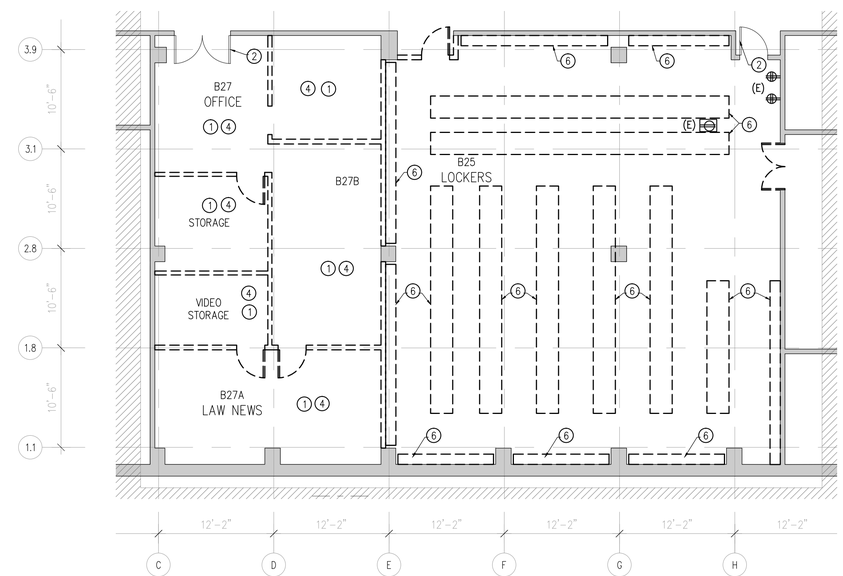
3



FLOOR PLAN

Scale: 1/8" = 1'- 0"

2



DEMOLITION PLAN

Scale: 1/8" = 1'- 0"

1

PLAN KEYNOTES

1. REMOVE EXISTING CARPET.
2. EXISTING DOOR TO REMAIN.
3. VERIFY WALL/DOORS ARE 1 HR PARTITIONS. CONTRACTOR RESPONSIBLE FOR PATCHING ANY EXISTING PENETRATIONS TO MAKE 1 HR RATING.
4. DEMO CEILING GRID. SAVE LIGHTS FOR REUSE IN NEW CEILING GRID.
5. --
6. DEMO CONCRETE LOCKER PADS.
7. ALIGN NEW CEILING TILE WITH EXISTING.
8. DEMO EXISTING DOOR AND FRAME. INFILL OPENING WITH 1 HOUR WALL, SEE 2B/A7.0.
9. EXISTING HVAC AND REGISTERS TO REMAIN.
10. RECONFIGURE EXISTING HVAC AND REGISTERS IN NEW CEILING. DISTRIBUTE UNIFORMLY.

GENERAL NOTES

1. ALLOW FOR PATCHING OF EXISTING WALLS AND COLUMNS TO MAKE SMOOTH.
2. PAINT WALLS P-1 UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
3. SAVE REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER.
4. NEW RUBBER BASE ON ALL WALLS. SEE FINISH SCHEDULE FOR SPEC.
5. SEE SHEET 3/A1.5 FOR FINISH SCHEDULE.
6. SEE SHEET A6.0 FOR CEILING DETAILS.
7. SEE SHEET 2/A7.0 FOR WALL PARTITION TYPES.
8. SAVE LIGHTS FOR REUSE
9. VCT FLOORING TO BE INSTALLED ON TOP OF HIGH DENSITY SHELVING FLOOR. COORDINATE WITH SHELVING INSTALLER.
10. NEW VCT FLOOR TO MATCH EXISTING VCT FLOOR.
11. REPLACE CEILING TILE AS NEEDED.
12. HIGH DENSITY STORAGE SHOWN FOR REFERENCE. BY OTHERS.
13. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.

LEGEND

- EXISTING INTERIOR & EXTERIOR WALL
- NEW FULL HEIGHT INTERIOR WALL
- WALL TO BE REMOVED
- QUAD OUTLET
- DUPLEX OUTLET
- DUPLEX FLOOR BOX OUTLET
- 1 HR RATED WALL
- 24" X 48" RECTANGULAR TILES (MATCH EXISTING)
- 2'X4' BUILDING STANDARD DIRECT/INDIRECT LIGHT

MKTHINK

Architects:

MKTHINK
Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **1/8" = 1'-0"**

Drawing Description:
HIGH DENSITY STORAGE PLANS IN 198 MCALLISTER

Date:

Drawn By: -- Checked By: --

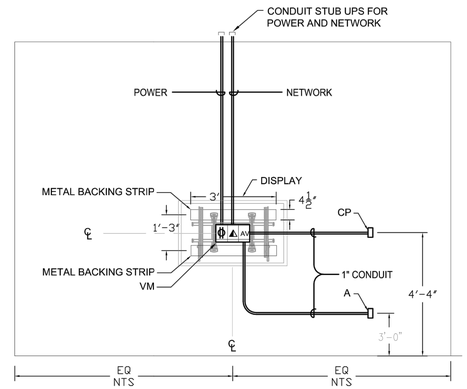
Sheet Number:
A1.2

NOTE ON EGRESS/ACCESSIBILITY

EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES.
NO CHANGE TO USE, OCCUPANCY, OR EGRESS PATH.

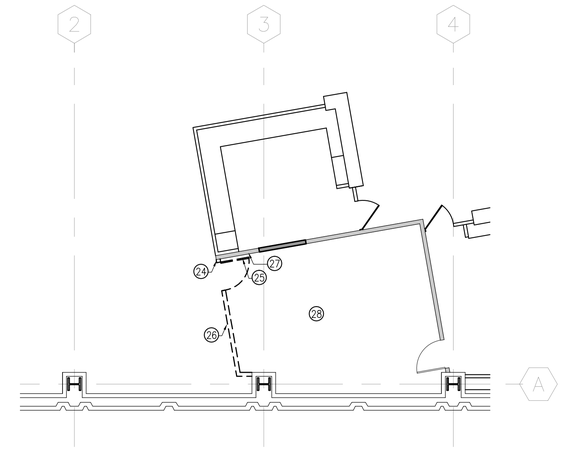
OCCUPANT LOADS

USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
PRODUCTION ROOM 446	97	1:100	1	1	1	32"	36"
PRODUCTION ROOM 447	89	1:100	1	1	1	32"	36"
RECORDING STUDIO 448	162	1:100	2	1	1	32"	36"
OPEN OFFICE 445	495	1:100	5	1	1	32"	36"
CONFERENCE ROOM 449	180	1:15	12	1	1	32"	36"
ELECTRICAL CLOSET 446A	13	N/A	0	0	0	0	0
TOTAL	1036	--	21	1	1	32"	36"



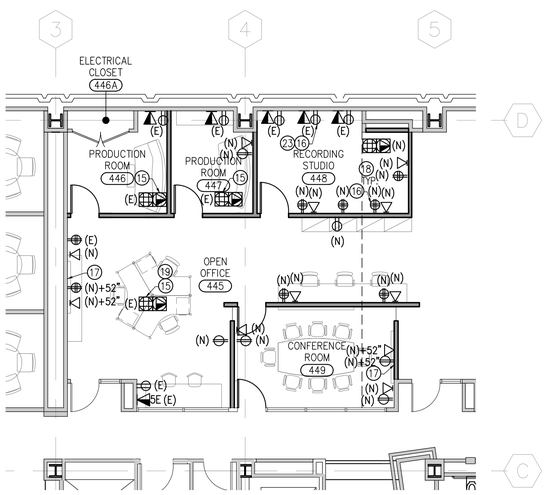
VIDEO MONITOR ELEVATION 5

Scale: NTS



CIRCULATION DESK PLAN 4

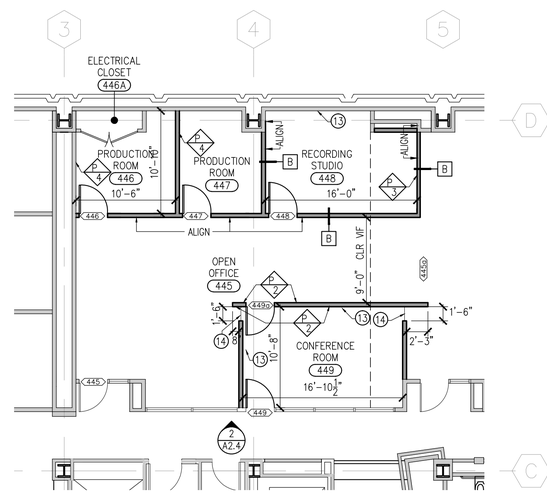
Scale: 1/8"=1'-0"



FURNITURE SHOWN FOR REFERENCE ONLY.

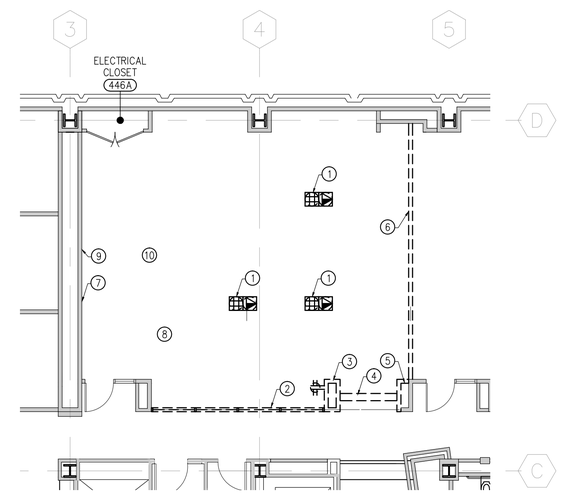
POWER SIGNAL PLAN 3

Scale: 1/8" = 1'- 0"



MEDIA SERVICES PLAN 2

Scale: 1/8" = 1'- 0"



DEMOLITION PLAN 1

Scale: 1/8" = 1'- 0"

PLAN KEYNOTES

1. REMOVE AND PATCH FLOOR AT EXISTING FLOOR BOX.
2. REMOVE EXISTING STOREFRONT SYSTEM.
3. REMOVE WALL CONSTRUCTION AND RELOCATE ANY INSIDE INFRASTRUCTURE. CONFIRM WITH ARCHITECT.
4. REMOVE EXISTING SLANTED GLASS WINDOW.
5. REMOVE WALL CONSTRUCTION AND RELOCATE ANY INSIDE INFRASTRUCTURE. FINISH EXPOSED WALL TO MATCH EXISTING ADJACENT WALL.
6. BRING FOLDING WALL UP TO CEILING, REMOVE MOTORIZED CONTROLS TO SECURE WALL IN OPEN POSITION.
7. REMOVE EXISTING PROJECTION SCREEN AND PROJECTOR. RETURN TO OWNER.
8. REMOVE EXISTING CEILING TILES. SAVE AND REUSE EXISTING LIGHTS.
9. REMOVE AND SAVE EXISTING CONTROL PANEL. PATCH WALL TO MATCH EXISTING.
10. EXISTING CARPET TO REMAIN. PROTECT AND REPLACE AS NEEDED.
11. --
12. --
13. NEW 4'X5' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE
14. FRAMELESS GLASS WINDOW, SEE DETAIL 1/A7.0.
15. LEAVE EXISTING FLOOR BOX FOR FUTURE USE.
16. DEDICATED CIRCUIT.
17. INPUT BACK BOX. PROVIDE 1" CONDUIT AND BACKING PER ELEVATION 5/--.
18. ACOUSTICAL SEALANT AROUND ALL NEW WALL PENETRATIONS, INCLUDING BACK BOXES AND RECEPTACLES, TYP. IN RECORDING STUDIO.
19. PROVIDE 3/4" CONDUIT PATH FROM FLOOR BOX TO BACK BOX BEHIND TV.
20. --
21. --
22. --
23. PROVIDE 2-GANG BACKBOX WITH 1" CONDUIT ABOVE CEILING.
24. CUT BACK WALL TO 8' AFF, KEEP SOFFIT ABOVE SIMILAR TO 3/A7.0. PROTECT AND PATCH FLOOR AS NEEDED.
25. REMOVE DOOR AND FRAME.
26. RELOCATE EXISTING FIRE EXTINGUISHER.
27. RELOCATED FIRE EXTINGUISHER.
28. NO WORK ON EXISTING CEILING.

GENERAL NOTES

1. PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED.
2. REMOVE AND SAVE EXISTING LIGHTS, CEILING TILES, REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER.
3. LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED.
4. PROVIDE BACKING AS REQUIRED.
5. SEE SHEET A1.5 FOR FINISH SCHEDULE
6. NEW WALLS TO BE TYPE A U.O.N.
7. PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
8. SEE SHEET A6.0 FOR CEILING DETAILS.
9. SEE SHEET A7.0 FOR WALL PARTITION TYPES.
10. PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED.
11. PARTITIONS DIMENSIONED TO FINISH FACE U.O.N.
12. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND MOTION SENSORS.
13. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.

LEGEND

- EXISTING INTERIOR & EXTERIOR WALL
- NEW FULL HEIGHT INTERIOR WALL
- WALL TO BE REMOVED
- DATA PORT
- QUAD OUTLET
- DUPLEX OUTLET
- NEW 2'X4' LIGHT COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS.

MKTHINK

Architects:
MKTHINK
Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **AS NOTED**

Drawing Description:
4th FLOOR PLANS/FINISH SCHEDULE IN 200 McALLISTER

Date:

Drawn By: -- Checked By: --

Sheet Number:

A1.4

NOTE ON EGRESS/ACCESSIBILITY

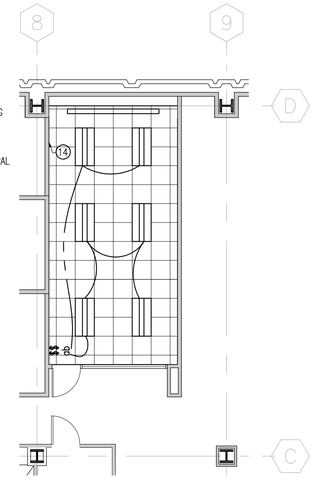
EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE IN OVERALL BUILDING USE. NO CHANGE IN USE TO ROOM 425. CHANGE IN USE FROM STORAGE TO OPEN OFFICE IN ROOMS 424 & 427.

OCCUPANT LOADS

USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
READING ROOM 424	97	1:50	2	1	1	32"	36"
READING ROOM 425	83	1:50	2	1	1	32"	32"
OPEN OFFICE 427*	182	1:100	2	--	--	--	--

* = FOR NEWLY OPENED AREA ONLY

- EXISTING GRID TO REMAIN.
- REPLACE EXISTING 2X4 LIGHT WITH COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS.
- ADD 2ND CONTROL/DIMMING SWITCH AT NOTE 20. SWITCH LIGHTS AS SHOWN ON OVERALL PLAN.
- ALL NEW LIGHTS TO BE COMPATIBLE WITH GE CENTRAL CONTROLLER.



TRAINING ROOM 4

Scale: 1/8" = 1'- 0"

PAINTS AND WALL COVERINGS

E 1	MANUFACTURER:	DUNN EDWARDS
	STYLE NAME:	ACRI-WALL (ZERO VOC)
	COLOR:	MATCH EXISTING
E 2	MANUFACTURER:	DUNN EDWARDS
	STYLE NAME:	ACRI-WALL (ZERO VOC)
	COLOR:	SILVER STORM DE5822
E 3	MANUFACTURER:	DUNN EDWARDS
	STYLE NAME:	ACRI-WALL (ZERO VOC)
	COLOR:	DRENCHED RAIN DE5883
E 4	MANUFACTURER:	DUNN EDWARDS
	STYLE NAME:	ACRI-WALL (ZERO VOC)
	COLOR:	BREATH OF SPRING DE5478
E 5	MANUFACTURER:	DUNN EDWARDS
	STYLE NAME:	ACRI-WALL (ZERO VOC)
	COLOR:	LUSTROUS YELLOW DE5472
WC 1	MANUFACTURER:	BUZZISPACE
	STYLE NAME:	BUZZISKIN
	COLOR:	OFFWHITE 063

WINDOW FILM

WF-1	MANUFACTURER:	3M
	TYPE:	DUSTED CRYSTAL
	NOTE:	"WINDOW FILM" NOTED ON INT. ELEVATIONS REFERS TO THIS TYPE

CARPET

CPT 1	MANUFACTURER:	SHAW
	STYLE NAME:	APPLIED TILE 5T004
	COLOR:	MARLITE 04210
	COLLECTION:	LIGHT SERIES
CPT 2	MANUFACTURER:	TBD
	STYLE NAME:	TBD
	COLOR:	TBD
	DETAILS:	OFCI
CPT 3	MANUFACTURER:	SHAW
	STYLE NAME:	APPLIED TILE 5T004
	COLOR:	BRILLIANT 04284
	COLLECTION:	LIGHT SERIES

BASE

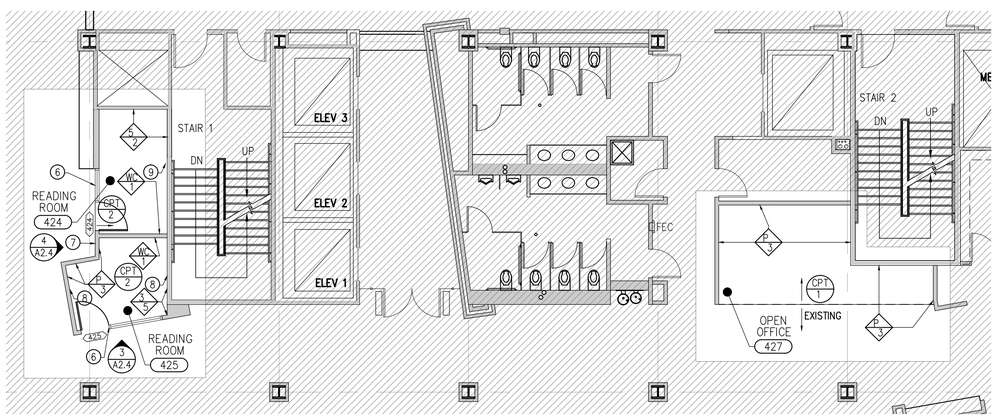
RB 1	MANUFACTURER:	BURKE FLOORING
	STYLE NAME:	RUBBER TYPE TS
	COLOR:	MATCH EXISTING
	DETAILS:	CONTINOUS ROLL.

FLOOR

VCT 1	MANUFACTURER:	MATCH EXISTING
	STYLE NAME:	MATCH EXISTING
	COLOR:	MATCH EXISTING

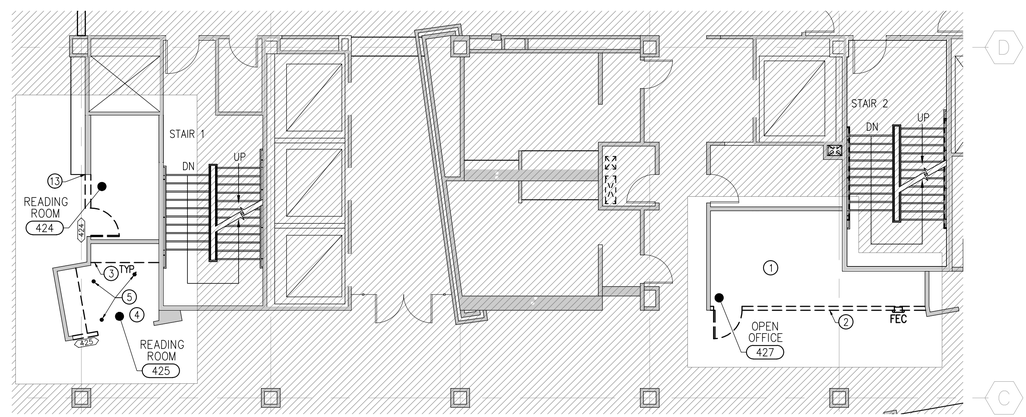
FINISH SCHEDULE 3

Scale: --



PLAN 2

Scale: 1/8" = 1'- 0"



DEMOLITION PLAN 1

Scale: 1/8" = 1'- 0"

PLAN KEYNOTES

1. REMOVE AND SAVE EXISTING LIGHTS. RETURN TO OWNER. REPLACE CEILING TILES AS NEEDED, MATCH EXISTING.
2. CUT BACK WALL TO FORM SOFFIT EDGE AT 8'-6" AFF, SEE 3/A7.0. REMOVE EXISTING FIRE EXTINGUISHER CABINET. RELOCATE PHONE.
3. REMOVE EXISTING SOLID SURFACE COUNTER.
4. EXISTING SOFFIT TO REMAIN. RELOCATE DOWN LIGHTS AND PATCH CEILING.
5. REMOVE AND RELOCATE EXISTING LIGHT FROM CEILING.
6. NEW ALUMINUM FRAME STOREFRONT SYSTEM WITH GLASS SIDELIGHT, MATCH EXISTING.
7. RELOCATED EXISTING PHONE.
8. NEW 4'X5' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE
9. NEW 4'X6' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE
11. --
12. --
13. CUT BACK EXISTING WALL TO 4" FROM EXISTING BOOKCASE
14. 2ND CONTROL/DIMMING SWITCH. SWITCH LIGHTS AS SHOWN ON OVERALL PLAN.

GENERAL NOTES

1. PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED.
2. PROVIDE BACKING AS REQUIRED.
3. NEW WALLS TO BE TYPE A U.O.N.
4. PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
5. SEE SHEET A6.0 FOR CEILING DETAILS.
5. SEE SHEET A1.5 FOR FINISH SCHEDULE
6. SEE SHEET A7.0 FOR WALL PARTITION TYPES.
7. PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED.
8. FURNITURE SHOWN FOR REFERENCE ONLY.
9. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.

LEGEND

- EXISTING INTERIOR & EXTERIOR WALL
- NEW FULL HEIGHT INTERIOR WALL
- WALL TO BE REMOVED
- DATA PORT
- QUAD OUTLET
- DUPLEX OUTLET

MKTHINK

Architects:

MKTHINK

Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **AS NOTED**

Drawing Description:
4th FLOOR STUDY ROOMS IN 200 McALLISTER

Date:

Drawn By: -- Checked By: --

Sheet Number:

A1.5

DOOR SCHEDULE

DOOR					FRAME TYPE		FIRE RATING (11)	HARDWARE		NOTES
DOOR NUMBER	TYPE (1)	SIZE (2)	MATERIAL (4)	FINISH (6)	MATERIAL (8)	FINISH (10)		SET NO.	ELECTRICAL	
424	C	MATCH EXISTING	GLASS/ALUM.	CLEAR	ALUM.	FF	NR	4		MATCH EXISTING DOORS
425	C	MATCH EXISTING	GLASS/ALUM.	CLEAR	ALUM.	FF	NR	4		MATCH EXISTING DOORS
445	A	3'-0" x 7'-0"	EXISTING	(E)	(E)	(E)	NR	(E)		EXISTING
446	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
447	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
448	A	3'-0" x 7'-0"	HM	CLEAR	HM	PTD.	NR	3		STC-48 DOOR AND FRAME
449a	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
449	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS

DOOR SCHEDULE LEGEND

1. TYPE: SEE ELEVATIONS FOR DOOR TYPES.
2. SIZE: ALL DOORS TO BE 1-3/4" THICK WITH 3/8 UNDERCUT U.O.N.
4. MATERIAL: WD = SOLID CORE WOOD DOOR
8. FRAME MATERIAL: AL = ALUMINUM TO MATCH EXISTING
10. FRAME FINISH: FF = FACTORY FINISH CLEAR TO MATCH EXISTING
11. NR = NONE REQUIRED.

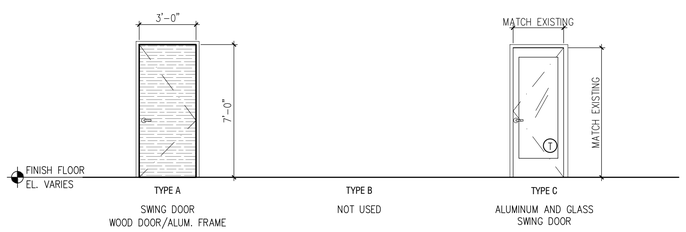
HARDWARE SETS

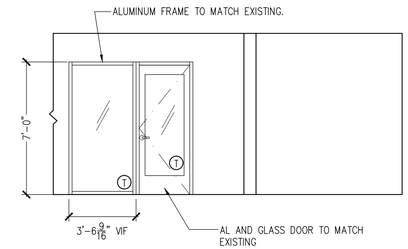
1. WOOD DOOR HARDWARE
   LATCHSET
   HINGES
   DOOR STOP
   CLASSROOM LOCKSET

2. NOT USED.

3. ACOUSTIC DOOR HARDWARE
   ZERO INTERNATIONAL SOUND TRAP 49 STC SEALING SYSTEM
   119W DOOR SEAL
   870 HEAD AND JAM SEAL
   ZBB961 HINGES (2 PAIRS)
   SADDLE 564, 565, OR 566
   THRESHOLD
   CLASSROOM LOCKSET

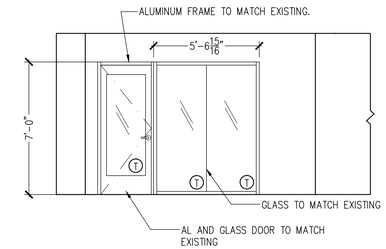
4. ALUMINUM DOOR
   LATCH SET
   HINGES
   DOORSTOP
   PASSAGE LOCKSET





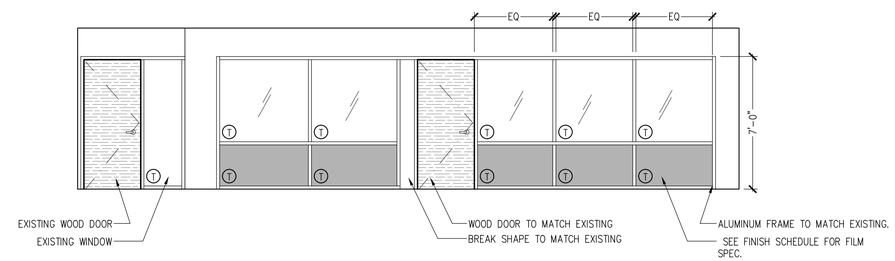
INTERIOR STOREFRONT ELEVATION RM 424 4

Scale: 1/4" = 1'- 0"



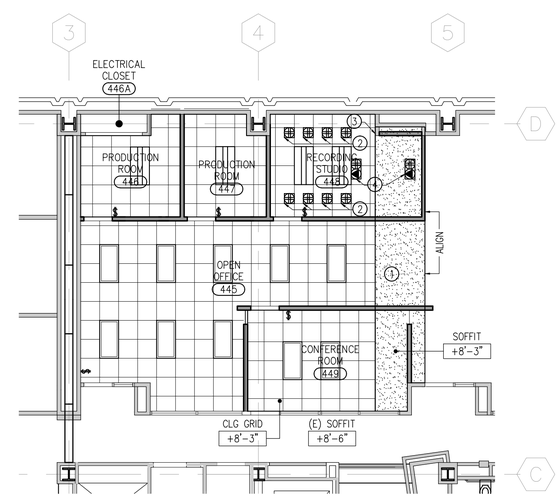
INTERIOR STOREFRONT ELEVATION RM 425 3

Scale: 1/4" = 1'- 0"



INTERIOR STOREFRONT ELEVATION RM 449 2

Scale: 1/4" = 1'- 0"



REFLECTED CEILING PLAN 1

Scale: 1/8" = 1'- 0"

REFLECTED CEILING PLAN KEYNOTES

1. GYPSUM BOARD SOFFIT BELOW EXISTING FOLDED WALL PARTITION, SEE 5/A6.0.
2. PRICE AS ALTERNATE: 4 QUADS ON 1 DEDICATED CIRCUIT.
3. ALIGN EDGE OF NEW SOFFIT WITH EXISTING WALL.
4. PRICE AS ALTERNATE.

GENERAL NOTES

1. REUSE EXISTING LIGHTS AND CEILING TILES WHERE POSSIBLE. RETURN UNUSED ITEMS TO OWNER.
2. LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED.
3. PROVIDE BACKING AS REQUIRED.
4. NEW WALLS TO BE TYPE A U.O.N.
5. PAINT WALLS FLAT WHITE TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
6. SEE SHEET A7.0 FOR WALL PARTITION TYPES.
7. ALL CEILING HEIGHTS TO BE 8'-6" U.O.N.
8. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.
9. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND HAVE MOTION SENSORS.

LEGEND

- EXISTING INTERIOR & EXTERIOR WALL
- NEW FULL HEIGHT INTERIOR WALL
- WALL TO BE REMOVED
- DATA PORT
- SURFACE-MOUNTED QUAD OUTLET
- CEILING SURFACE-MOUNTED POWER AND DATA
- ARMSTRONG CEILING SYSTEM 24"x 24" SQUARE TEGULAR TILES
- NEW 2'X4' LIGHT COOPER LIGHTING 1.30513-24EN-2X4-LED WITH DIMMING CONTROLS.
- REUSED EXISTING BUILDING STANDARD LIGHT
- TEMPERED GLASS

MKTHINK

Architects:
MKTHINK
Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

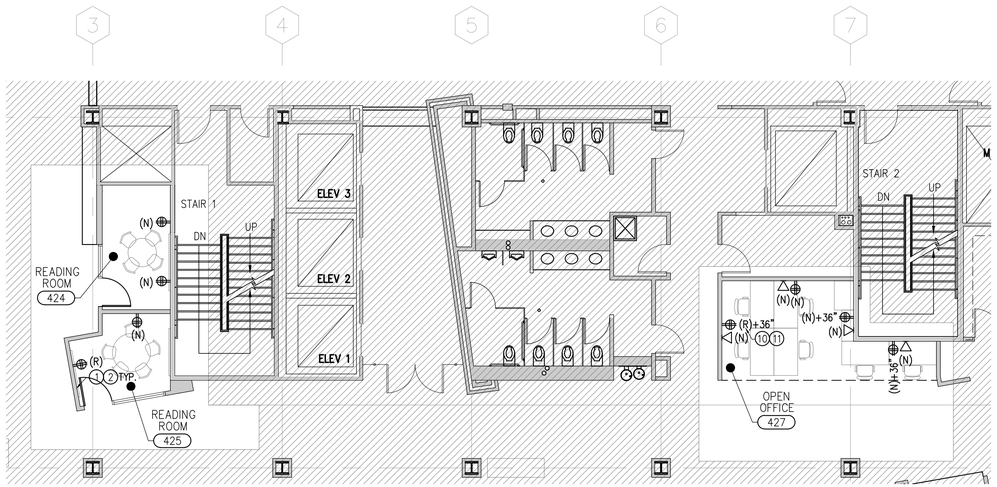
Scale: **AS NOTED**

Drawing Description:
4th FLOOR CEILING AND DOOR SCHEDULE

Date:

Drawn By: -- Checked By: --

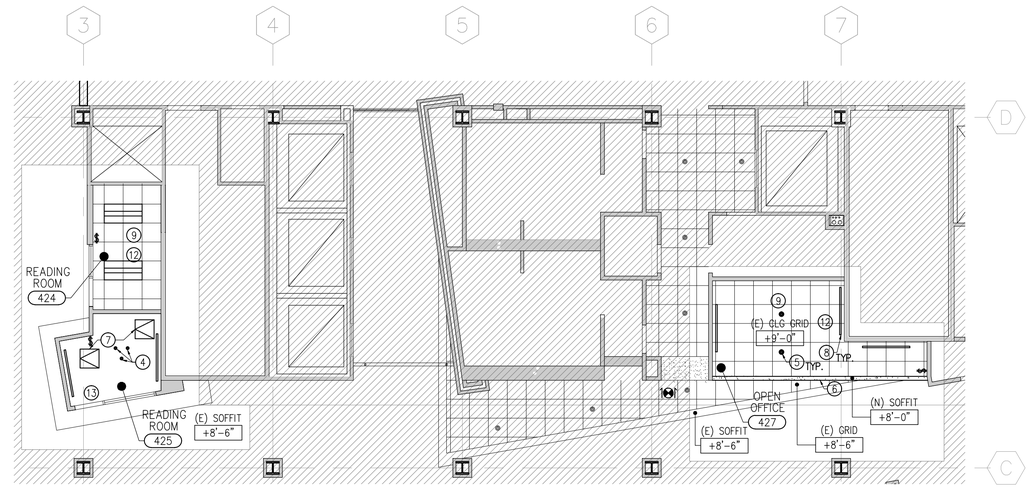
Sheet Number:
A2.4



POWER SIGNAL PLAN

Scale: 1/8" = 1'- 0"

2



REFLECTED CEILING PLAN

Scale: 1/8" = 1'- 0"

1

PLAN KEYNOTES

1. REMOVE EXISTING DATA PORTS AND PATCH WALLS, TYP.
2. RELOCATE EXISTING POWER TO 18" AFF.
3. --
4. RELOCATED DOWNLIGHT.
5. NEW DOWNLIGHT TO MATCH EXISTING IN ADJACENT ACT SOFFIT.
6. NEW GYPSUM BOARD SOFFIT, SEE 3/A7.0. PAINT P-3, SEE FINISH SCHEDULE 3/A1.5.
7. EXISTING ACCESS PANEL TO REMAIN.
8. NEW 62" ARTIMIDE 2 SQUARE SUSPENSION SYSTEM INDIRECT FLOURESCENT LIGHT. LOCATE 4" FROM ADJACENT WALL AND 8' AFF TO BOTTOM OF FIXTURE.
9. EXISTING CEILING GRID TO REMAIN. REPLACE TILES WHERE NECESSARY.
10. RELOCATE EXISTING POWER TO 40" AFF.
11. CONVERT DUPLEX TO QUAD.
12. EXISTING HVAC AND REGISTERS TO REMAIN.
13. REUSE EXISTING HVAC AND REGISTERS IN NEW CEILINGS WITH FLEX DUCTS TO NEW GRILLS. DISTRIBUTE UNIFORMLY.

GENERAL NOTES

1. PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED.
2. REMOVE AND SAVE EXISTING LIGHTS, CEILING TILES, REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER.
3. LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED.
4. PROVIDE BACKING AS REQUIRED.
5. NEW WALLS TO BE TYPE A U.O.N.
6. PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
7. SEE SHEET A6.0 AND A7.0 FOR CEILING DETAILS.
8. SEE SHEET A7.0 FOR WALL PARTITION TYPES.
9. PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED.
10. PARTITIONS DIMENSIONED TO FINISH FACE U.O.N.
11. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND MOTION SENSORS.
12. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.

LEGEND

- EXISTING INTERIOR & EXTERIOR WALL
- NEW FULL HEIGHT INTERIOR WALL
- WALL TO BE REMOVED
- DATA PORT
- QUAD OUTLET
- DUPLEX OUTLET

ARMSTRONG CEILING SYSTEM

24"x 24" SQUARE TEGULAR TILES, MATCH BUILDING STANDARD.

2'X4' LIGHT COOPER LIGHTING
130513-24EN-2X4-LED WITH DIMMING CONTROLS

MKTHINK

Architects:

MKTHINK
Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **AS NOTED**

Drawing Description:
4th FLOOR STUDY ROOMS IN 200 McALLISTER

Date:

Drawn By: -- Checked By: --

Sheet Number:

A2.5

1. #12 GAGE (MIN.) HANGER WIRES MAY BE USED FOR UP TO AND INCLUDING 4'–0" X 4'–0" GRID SPACING AND SHALL BE ATTACHED TO MAIN RUNNERS.

2. PROVIDE #12 GAGE HANGER WIRES AT THE ENDS OF ALL MAIN AND CROSS RUNNERS WITHIN 8" OF THE SUPPORT OR WITHIN 1/4 OF THE LENGTH OF THE END TEE, WHICHEVER IS LEAST, FOR THE PERIMETER OF THE CEILING AREA. END CONNECTIONS FOR RUNNERS WHICH ARE DESIGNED AND DETAILED TO RESIST THE APPLIED VERTICAL AND HORIZONTAL FORCES MAY BE USED IN LIEU OF THE # 12 GAGE HANGER WIRES.

3. PROVIDE TRAPEZE OR OTHER SUPPLEMENTARY SUPPORT MEMBERS AT OBSTRUCTIONS TO TYPICAL HANGER SPACING. PROVIDE ADDITIONAL HANGERS, STRUTS OR BRACES AS REQUIRED AT ALL CEILING BREAKS, SOFFITS OR DISCONTINOUS AREAS. HANGER WIRES THAT ARE MORE THAN 1 IN 6 OUT OF PLUMB ARE TO HAVE COUNTER–SLOPING WIRES.

4. CEILING GRID MEMBERS MAY BE ATTACHED TO NOT MORE THAN 2 ADJACENT WALLS. CEILING GRID MEMBERS SHALL BE AT LEAST 3/4" CLEAR OF OTHER WALLS. IF WALLS RUN DIAGONALLY TO CEILING GRID SYSTEM RUNNERS, ONE END OF MAIN AND CROSS RUNNERS SHOULD BE FREE, AND A MINIMUM OF 3/4" CLEAR OF WALL.

5. AT THE PERIMETER OF THE CEILING AREA WHERE MAIN OR CROSS RUNNERS ARE NOT CONNECTED TO THE ADJACENT WALL, PROVIDE INTERCONNECTION BETWEEN THE RUNNERS AT THE FREE END TO PREVENT LATERAL SPREADING. A METAL STRUT OR A #16 GAGE WIRE WITH A POSITIVE MECHANICAL CONNECTION TO THE RUNNER MAY BE USED. WHERE THE PERPENDICULAR DISTANCE FROM THE WALL TO THE FIRST PARALLEL RUNNER IS 12" OR LESS, THIS INTERLOCK IS NOT REQUIRED.

6. PROVIDE BRACING ASSEMBLIES CONSISTING OF A COMPRESSION STRUT AND FOUR #12 GAGE SPLAYED BRACING WIRES ORIENTED 90 DEGREES FROM EACH OTHER AT THE FOLLOWING SPACING: 1.) FOR SCHOOL BUILDINGS, PLACE BRACING ASSEMBLIES AT A SPACING NOT MORE THAN 12'–0" X 12'–0" ON CENTER; 2.) FOR ESSENTIAL SERVICES BUILDINGS, PLACE BRACING ASSEMBLIES NOT MORE THAN 8'–0" X 12'–0" ON CENTER; 3.) PROVIDE BRACING ASSEMBLIES AT LOCATIONS NOT MORE THAN 1/2 THE AFOREMENTIONED SPACINGS, FROM EACH PERIMETER WALL AND AT THE EDGE OF VERICAL CEILING OFFSETS. THE SLOPE OF THESE WIRES SHALL NOT EXCEED 45 DEGREES FROM THE PLANE OF THE CEILING AND SHALL BE TAUT. SPLICES IN BRACING WIRES ARE NOT TO BE PERMITTED. 4.) SUSPENDED ACOUSTICAL CEILING SYSTEMS WITH A CEILING AREA OF 144 SQUARE FEET OR LESS, AND FIRE RATED SUSPENDED ACOUSTICAL CEILINGS SYSTEMS WITH A CEILING AREA OF 96 SQUARE FEET OR LESS, SURROUNDED BY WALLS WHICH CONNECT DIRECTLY TO THE STRUCTURE ABOVE, DO NOT REQUIRE BRACING ASSEMBLIES WHEN ATTACHED TO TWO ADJACENT WALLS.

7. FASTEN HANGER WIRES WITH NOT LESS THAN THREE (3) TIGHT TURNS. FASTEN BRACING WIRES WITH FOUR (4) TIGHT TURNS. MAKE ALL TIGHT TURNS WITHIN A DISTANCE OF 1–1/2". HANGER OR BRACING WIRE ANCHORS TO THE STRUCTURE SHOULD BE INSTALLED IN SUCH A MANNER THAT THE DIRECTION OF THE ANCHOR ALIGNS AS CLOSELY AS POSSIBLE WITH THE DIRECTION OF THE WIRE. NOTE: WIRE TURNS MADE BY MACHINE WHERE BOTH STRANDS HAVE BEEN DEFORMED OR BENT IN WRAPPING CAN WAIVE THE 1–1/2" REQUIREMENT, BUT THE NUMBER OF TURNS SHOULD BE MAINTAINED, AND BE AS TIGHT AS POSSIBLE.

8. SEPARATE ALL CEILING HANGER AND BRACING WIRES AT LEAST 6" FROM ALL UNBRACED DUCTS, PIPES, CONDUIT, ETC.

9. ATTACH ALL LIGHT FIXTURES AND CEILING MOUNTED AIR TERMINALS, TO THE CEILING GRID RUNNERS TO RESIST A HORIZONTAL FORCE EQUAL TO THE WEIGHT OF THE FIXTURES. SCREWS OR APPROVED FASTENERS ARE REQUIRED.

10. FLUSH OR RECESSED LIGHT FIXTURES AND AIR TERMINALS, WEIGHING LESS THAN 56 LBS., MAY BE SUPPORTED DIRECTLY ON THE RUNNERS OF A HEAVY DUTY GRID SYSTEM BUT, IN ADDITION, THEY MUST HAVE A MINIMUM OF TWO (2) #12 GAGE SLACK SAFETY WIRES ATTACHED TO THE FIXTURE AT DIAGONAL CORNERS AND ANCHORED TO THE STRUCTURE ABOVE. ALL 4'–0" X 4'–0" LIGHT FIXTURES MUST HAVE SLACK SAFETY WIRES AT EACH CORNER.

11. ALL FLUSH OR RECESSED LIGHT FIXTURES AND AIR TERMINALS WEIGHING 56 LBS. OR MORE MUST BE INDEPENDENTLY SUPPORTED BY NOT LESS THAN FOUR (4) TAUT #12 WIRES, EACH ATTACHED TO THE FIXTURE AND TO THE STRUCTURE ABOVE REGARDLESS OF THE TYPE OF CEILING GRID SYSTEM USED. THE FOUR (4) TAUT #12 GAGE WIRES, INCLUDING THEIR ATTACHMENT TO THE STRUCTURE ABOVE, MUST BE CAPABLE OF SUPPORTING FOUR (4) TIMES THE WEIGHT OF THE UNIT.

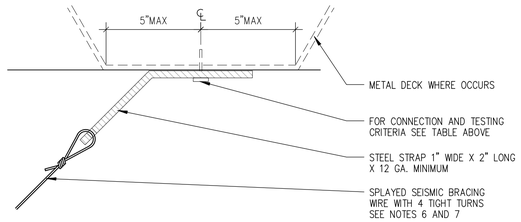
12. ALL FIXTURES AND AIR TERMINALS SUPPORTED ON HEAVY DUTY GRID SYSTEMS MUST BE INDEPENDENTLY SUPPORTED BY NOT LESS THAN FOUR (4) TAUT #12 GAGE WIRES EACH ATTACHED TO THE FIXTURE OR TERMINAL, AND TO THE STRUCTURE ABOVE.

13. SUPPORT SURFACE MOUNTED LIGHT FIXTURES BY AT LEAST TWO POSITIVE DEVICES WHICH SURROUND THE CEILING RUNNER AND WHICH ARE EACH SUPPORTED FROM THE STRUCTURE ABOVE BY A #12 GAGE WIRE. SPRING CLIPS OR CLAMPS THAT CONNECT ONLY TO THE RUNNER ARE NOT ACCEPTABLE.
PROVIDE ADDITIONAL SUPPORTS WHEN LIGHT FIXTURES ARE 8'–0" OR LONGER.

14. SUPPORT PENDANT MOUNTED LIGHT FIXTURES DIRECTLY FROM THE STRUCTURE ABOVE WITH HANGER WIRES OR CABLES PASSING THROUGH EACH PENDANT HANGER AND CAPABLE OF SUPPORTING FOUR (4) TIMES THE WEIGHT OF THE FIXTURE. A BRACING ASSEMBLY IS REQUIRED WHERE THE PENDANT HANGER PENETRATES THE CEILING. SPECIAL DETAILS ARE REQUIRED TO ATTACH THE PENDANT HANGER TO THE BRACING ASSEMBLY TO TRANSMIT HORIZONTAL FORCES.

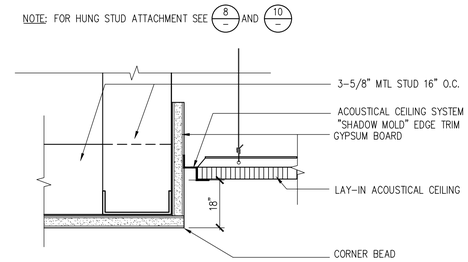
15. T–BAR IN ALL LOCATIONS TO BE HEAVY DUTY SYSTEM.

FASTENING BASE MATERIAL	TYPE OF FASTENER	MIN. EMBEDMENT
20 GAGE MIN. METAL DECK WITH CONCRETE FILL – NORMAL WEIGHT – 3000 psi MIN.	1/4" Ø HILTI KWIK BOLT II	1 – 1/8"
20 GAGE MIN. METAL DECK WITH CONCRETE FILL – LIGHT WEIGHT – 3000 psi MIN.	1/4" Ø HILTI KWIK BOLT II	2"
CONCRETE SLAB/BEAM – NORMAL WEIGHT – 3000 psi MIN.	1/4" Ø HILTI KWIK BOLT II	1 – 1/8"
STEEL BEAM	HILTI X–AL–H27 P8	THROUGH STEEL OR 1/2" MIN.



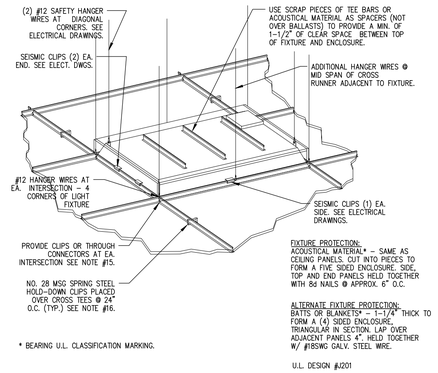
ANGLED WIRE SUPPORT FOR CEILING SYSTEMS 9

Scale: 3" = 1'- 0"



GYPSUM BOARD/ LAY-IN CEILING TRANSITION 6

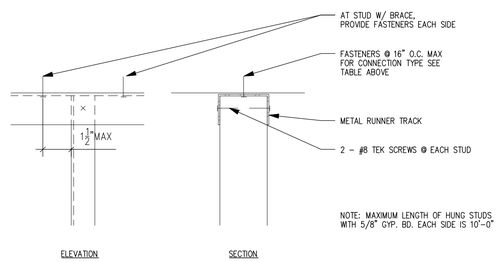
Scale: 3" = 1'-0"



TYPICAL CEILING FIXTURE INSTALLATION 3

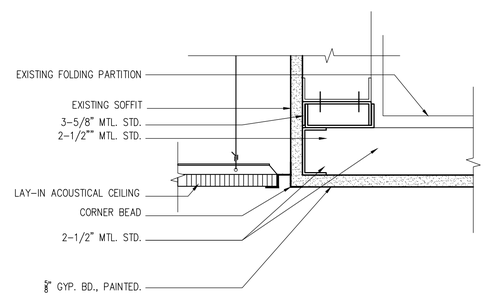
Scale: NTS

FASTENING BASE MATERIAL	TYPE OF FASTENER	MIN. EMBEDMENT
20 GAGE MIN. METAL DECK WITH CONCRETE FILL – NORMAL WEIGHT – 3000 psi MIN.	1/4" Ø HILTI KWIK BOLT II	1 – 1/8"
20 GAGE MIN. METAL DECK WITH CONCRETE FILL – LIGHT WEIGHT – 3000 psi MIN.	1/4" Ø HILTI KWIK BOLT II	1 – 1/8"
CONCRETE SLAB/BEAM – NORMAL WEIGHT – 3000 psi MIN.	1/4" Ø HILTI KWIK BOLT II	1 – 1/8"



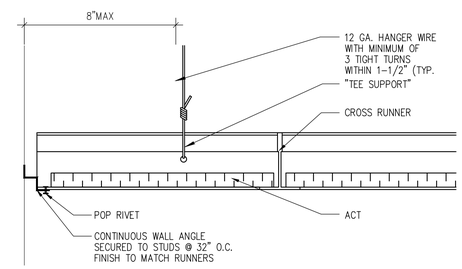
STUD CONNECTION TO STRUCTURE 8

Scale: 3" = 1'- 0"



FOLDING WALL PARTITION SOFFIT 5

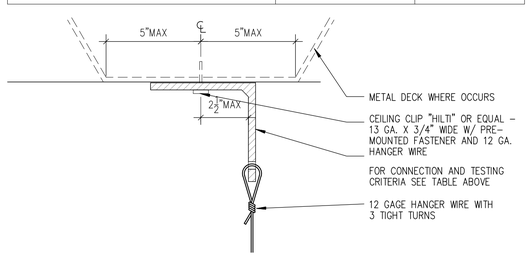
Scale: 3" = 1'-0"



TYPICAL LAY-IN CEILING @ ATTACHED END 2

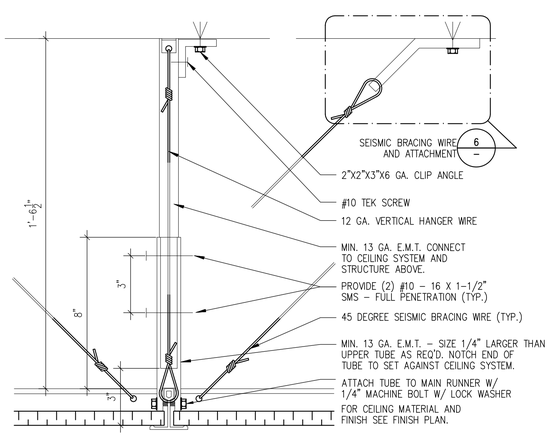
Scale: 3" = 1'- 0"

FASTENING BASE MATERIAL	TYPE OF FASTENER	MIN. EMBEDMENT
20 GAGE MIN. METAL DECK WITH CONCRETE FILL – NORMAL WEIGHT – 3000 psi MIN.	HILTI CC 27DNI 27 P8T	1"
20 GAGE MIN. METAL DECK WITH CONCRETE FILL – LIGHT WEIGHT – 3000 psi MIN.	HILTI CC 27DNI 32 B8T	1–1/4"
CONCRETE SLAB/BEAM – NORMAL WEIGHT – 3000 psi MIN.	HILTI CC 27DNI 27 P8T	1"
STEEL BEAM – FLANGE GREATER THAN OR EQUAL TO 3/4" THICK	HILTI X–AL–H27 P8	1/2" MIN.
STEEL BEAM – FLANGE BETWEEN 3/8" AND 9/16" THICK	HILTI X–AL–H22 P8	THROUGH STEEL



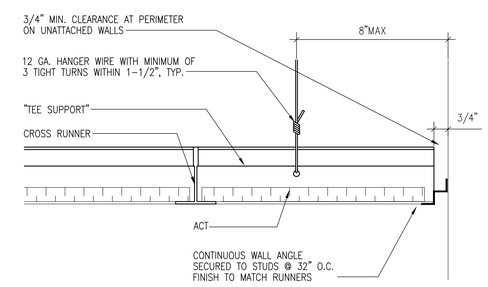
VERTICAL WIRE SUPPORT FOR CEILING SYSTEMS 7

Scale: 3" = 1'- 0"



TYPICAL LAY-IN CEILING E.M.T. SUPPORT 4

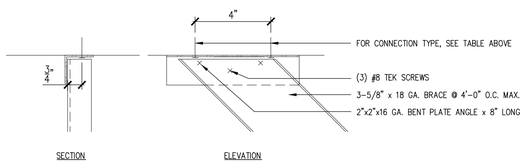
Scale: 3" = 1'- 0"



TYPICAL LAY-IN CEILING @ UNATTACHED END 1

Scale: 3" = 1'- 0"

FASTENING BASE MATERIAL	TYPE OF FASTENER	MIN. EMBEDMENT
20 GAGE MIN. METAL DECK WITH CONCRETE FILL – NORMAL WEIGHT – 3000 psi MIN.	1/4" Ø HILTI KWIK BOLT II	2"
20 GAGE MIN. METAL DECK WITH CONCRETE FILL – LIGHT WEIGHT – 3000 psi MIN.		
CONCRETE SLAB/BEAM – NORMAL WEIGHT – 3000 psi MIN.		



ANGLE BRACING TO STRUCTURE 10

Scale: 3" = 1'- 0"

MKTHINK

Architects:
MKTHINK
Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **AS NOTED**

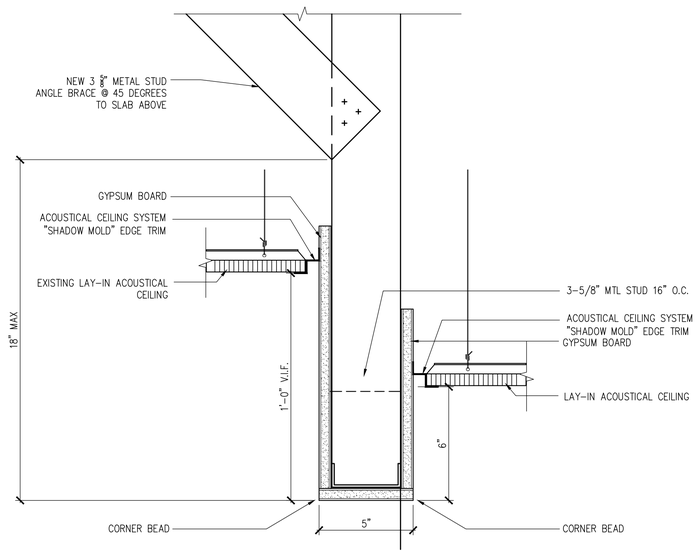
Drawing Description:
CEILING DETAILS

Date:

Drawn By: – – Checked By: – –

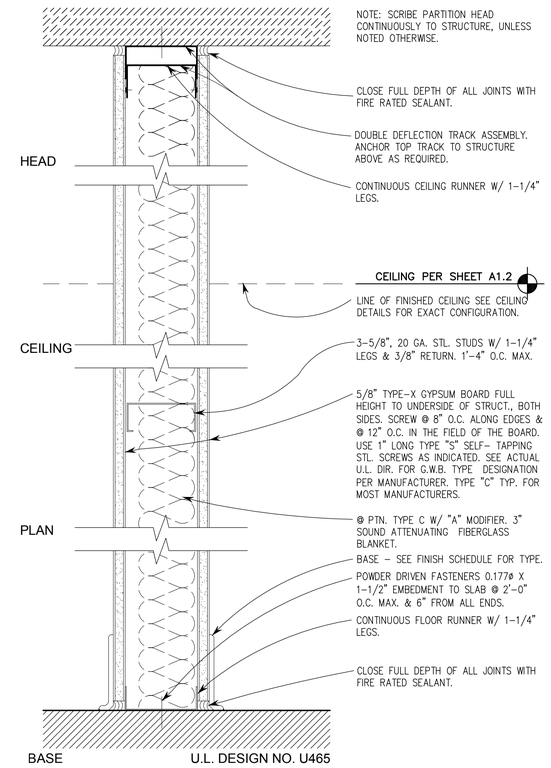
Sheet Number:

A6.0



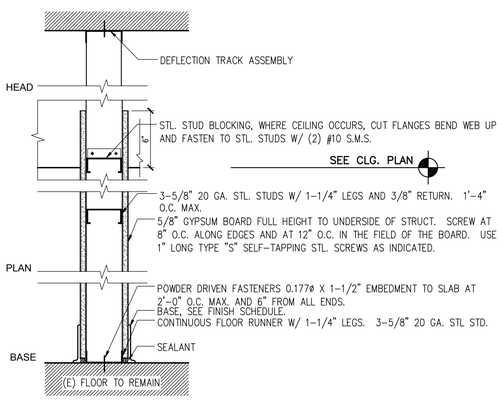
GYPSUM BOARD/ LAY-IN CEILING SOFFIT TRANSITION 3

Scale: 3" = 1'-0"

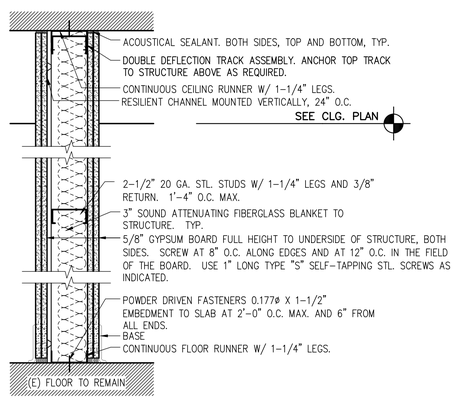


TYPE D: 1 HR FIRE-RATED NON-LOAD BEARING PARTITION 2B

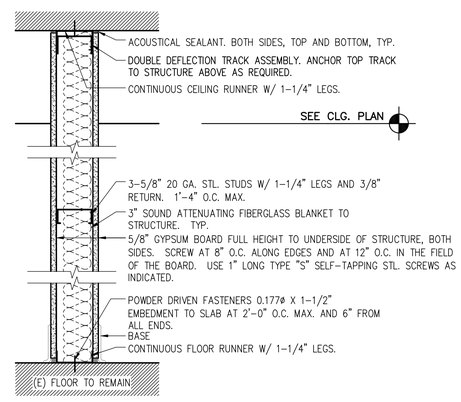
Scale: 1-1/2" = 1'- 0"



TYPE C: CEILING HEIGHT PARTITION



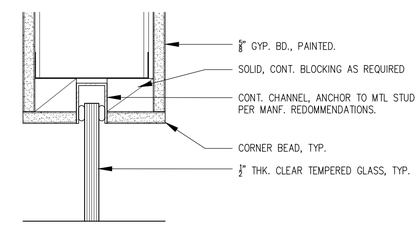
TYPE B: FULL HEIGHT ACOUSTIC PARTITION



TYPE A: FULL HEIGHT ACOUSTIC PARTITION

WALL PARTITION TYPES (SEE 2B FOR ADDTIONAL WALL PARTITION TYPES) 2A

Scale: 1-1/2" = 1'- 0"



FRAMELESS HEAD GLAZING DETAIL 1

Scale: 3" = 1'-0"

MKTHINK

Architects:
MKTHINK
Roundhouse One, 1500 Sansome Street
San Francisco, CA 94111
p 415 402 0888
f 415 288 3383
mkthink.com

Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142

Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	1.9.14

Seal:

Scale: **AS NOTED**

Drawing Description:

DETAILS

Date:

Drawn By: Checked By:

Sheet Number:

A7.0