

Ø	DIAMETER	LAM.	LAMINATED
#	NUMBER	LBS.	POUNDS
		LEV.	LEVEL
		LOC.	LOCATION
A.C.T.	ACOUSTIC CEILING TILE		
A.D.	AREA DRAIN	MAX.	MAXIMUM
ADJ.	ADJACENT, ADJUSTABLE	M.D.F.	MEDIUM DENSITY FIBERBOARD
A.F.F.	ABOVE FINISHED FLOOR	MECH.	MECHANICAL
AL.	ALUMINUM	MEMB.	MEMBRANE
A.T.C.	ACOUSTIC TILE CEILING	MEZZ.	MEZZANINE
		MFR.	MANUFACTURER
BD.	BOARD	MIN.	MINIMUM
BETW.	BETWEEN	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	M.O.	MASONRY OPENING
BM.	BEAM	MOD.	MODULE
B.O.	BOTTOM OF	M.S.	MACHINE SCREW
BOT.	BOTTOM	MTD.	MOUNTED
BRG.	BEARING	MTL.	METAL
BTWN.	BETWEEN		
		(N)	NEW
CAB.	CABINET	N.I.C.	NOT IN CONTRACT
CER.	CERAMIC	NO.	NUMBER
C.J.	CONTROL JOINT	NOM.	NOMINAL
℄	CENTER LINE	N.T.S.	NOT TO SCALE
CL.	CLOSET		
CLG.	CEILING	O.A.D.	OVERALL DIMENSION
CLR.	CLEAR	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	O.D.	OUTSIDE DIAMETER
COL.	COLUMN	OPNNG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONS.	CONSTRUCTION	O.F.C.I.	OWNER FURNISHED/ CONTRACTOR INSTALLED
CONT.	CONTINUOUS	O.F.O.I.	OWNER FURNISHED/ OWNER INSTALLED
COORD.	COORDINATE	O.F.V.I.	OWNER FURNISHED/ VENDOR INSTALLED
C.R.	COLD ROLLED	O.H.	OVAL HEAD
C.T.	CERAMIC TILE	O.H.	OVERHEAD
CTSK.	COUNTERSINK		
		P. LAM.	PLASTIC LAMINATE
DBL.	DOUBLE	P	PROPERTY LINE
DCA.	DRILLED CONCRETE ANCHOR	PARA	PARALLEL
DET.	DETAIL	PERP.	PERPENDICULAR
D.F.	DRINKING FOUNTAIN	PL.	PLATE
DIA.	DIAMETER	PLY.	PLYWOOD
DIM.	DIMENSION	PLYWD.	PLYWOOD
DIR.	DIRECTORY	PT.	PAINT
DISP.	DISPENSER	PTD.	PAINTED
DN.	DOWN	PTN.	PARTITION
DR.	DOOR		
DTL.	DETAIL	Q.T.	QUARRY TILE
DWG.	DRAWING	QTY.	QUANTITY
(E)	EXISTING	R.	RADIUS
EA.	EACH	RAD.	RADIUS
E.J.	EXPANSION JOINT	R.D.	ROOF DRAIN
EL.	ELEVATION	RE:	REFER TO
ELEC.	ELECTRICAL	REQD.	REQUIRED
EQ.	EQUAL	RES.	RESILIENT
EQUIP.	EQUIPMENT	RESIL.	RESILIENT
E.W.C.	ELECTRIC WATER COOLER	R.H.	ROUND HEAD
EXIST.	EXISTING	RM.	ROOM
EXP.	EXPANSION	R.O.	ROUGH OPENING
EXP. JT.	EXPANSION JOINT		
EXT.	EXTERIOR	S.C.	SOLID CORE
		SCHED.	SCHEDULE
F.D.	FLOOR DRAIN	SECT.	SECTION
F.E.	FIRE EXTINGUISHER	S.E.D.	SEE ELECTRICAL DRAWINGS
F.E.C.	FIRE EXTINGUISHER CABINET	S.F.	SQUARE FOOT
F.H.	FLAT HEAD	SHIT.	SHEET
F.H.C.	FIRE HOSE CABINET	SM.	SIMILAR
FIN.	FINISH	S.M.D.	SEE MECHANICAL DRAWINGS
FLR.	FLOOR	S.M.S.	SHEET METAL SCREW
FLUOR.	FLUORESCENT	S.P.D.	SEE PLUMBING DRAWINGS
F.O.	FACE OF	S.S.	STAINLESS STEEL
F.O.S.	FACE OF STUD	S.S.D.	SEE STRUCTURAL DRAWINGS
F.O.W.	FACE OF WALL	STD.	STANDARD
F.S.	FULL SIZE	STL.	STEEL
FURR.	FURRING	STRUCT.	STRUCTURAL
FUT.	FUTURE	SUSP.	SUSPENDED
GA.	GAUGE	TEMP.	TEMPERED GLASS
GALV.	GALVANIZED	THK.	THICK
G.B.	GRAB BAR	T.O.	TOP OF
G.D.	GARBAGE DISPOSAL	T.O.C.	TOP OF CONCRETE
G.W.B.	GYSUM WALLBOARD	T.O.S.	TOP OF STEEL
GYP. BD.	GYSUM WALLBOARD	TYP.	TYPICAL
H.B.	HOSE BIBB	U.L.	UNDERWRITERS LABORATORIES INC.
H.C.	HOLLOW CORE	U.O.N.	UNLESS OTHERWISE NOTED
HDWD.	HARDWOOD		
H.M.	HOLLOW METAL	V.C.T.	VINYL COMPOSITION TILE
HORZ.	HORIZONTAL	VEN.	VENEER
HR.	HOUR	VER.	VERIFY
H.R.	HOT ROLLED	VEST.	VESTIBULE
HT.	HEIGHT	VERT.	VERTICAL
		V.I.F.	VERIFY IN FIELD
I.D.	INSIDE DIAMETER	V.W.C.	VINYL WALL COVERING
I.F.	INSIDE FACE		
INS.	INSULATION	W/	WITH
INT.	INTERIOR	W.C.	WATER CLOSET
INTER.	INTERMEDIATE	W.C.	WALL COVERING
		WD.	WOOD
JAN.	JANITOR	W.P.	WATERPROOF
JST.	JOIST	W.R.	WATER RESISTANT
JT.	JOINT		

	NORTH INDICATOR		INDICATES LEVEL LINE, CONTROL POINT, OR DATUM		DETAIL DRAWING REFERENCE SYMBOL:		REVISION DESIGNATION: MOST CURRENT REVISION SHOWN CLOUDED ON DRAWING; RE: REVISION LIST IN TITLE BLOCK
	COLUMN REFERENCE GRID		ALIGN FACE OF FINISH WITH ADJACENT FACE OF FINISH		DETAIL NUMBER TO BE REFERENCED		
			LIMIT OF DEMOLITION / NEW CONSTRUCTION		SHEET NUMBER TO BE REFERENCED		
			CENTERLINE				
			KEY NOTE DESIGNATION; RE: KEY NOTE LEGEND				
	DRAWING REFERENCE; ARROW INDICATES DIRECTION OF VIEW DETAIL NUMBER SHEET NUMBER		CLG. HT. AT DESIGNATED LOCATION; TYPICAL CLG. HT. IS 8'-0" O.U.N.		LARGE SCALE PLAN OR ENLARGED SECTIONAL DETAIL: DETAIL NUMBER TO BE REFERENCED		ROOM NAME
			DOOR DESIGNATION MARK – SEE DOOR SCHEDULE		SHEET NUMBER TO BE REFERENCED		ROOM NUMBER
			WINDOW OR LOUVER DESIGNATION MARK – SEE WINDOW SCHEDULE				SQUARE FOOTAGE

GO.0

GENERAL NOTES:		FINISH NOTES:		POWER / DATA NOTES:		PARTITION NOTES:	
1	AIA DOCUMENT 201, GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT, ARE HEREBY INCORPORATED INTO THESE DRAWINGS & SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK.	17	NOT USED.	1	SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND INFORMATION. WHERE CONFLICTS OCCUR, ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE FOR LOCATION.	1	DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT IMMEDIATELY. CONSTRUCTION PLAN BY ARCHITECT SUPERSEDES ALL OTHER PLANS.
2	THE WORK SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES.	18	ALL CONCEALED BLOCKING TO BE FIRE-TREATED WOOD OR SHEETMETAL.	2	INDICATED DIMENSIONS ARE TO THE CENTERLINE OF THE OUTLET OR CLUSTER OF OUTLETS , UNLESS OTHERWISE NOTED; GANG COVER PLATES SHALL BE ONE- PIECE TYPE, U.O.N.	2	ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET (AND CUSHION), CERAMIC TILE, VCT, ETC.
3	CONTRACTOR SHALL APPLY FOR, OBTAIN & PAY FOR ALL LICENSES & INSPECTIONS AS REQUIRED TO COMPLY WITH ALL STATE, CITY, LOCAL CODES & LAWS.	19	IN CASE OF CONFLICT BETWEEN ARCHITECTS AND ENGINEERS DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECTURAL DRAWINGS SHALL GOVERN AND THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT REGARDING THESE DISCREPANCIES.	3	DO NOT MOUNT OUTLETS BACK-TO-BACK ON OPPOSITE SIDES OF PARTITION; MAINTAIN MINIMUM 3 INCH SEPARATION AND PACK OUTLETS WITH ACOUSTIC TREATMENT.	3	DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, UNLESS OTHERWISE NOTED.
4	PRIOR TO COMMENCING WORK, THE CONTRACTOR, IN CONFERENCE WITH THE BUILDING MANAGER SHALL PREPARE A LIST OF HIS ACTIVITIES THAT WILL NOT, IN ANY WAY AFFECT THE NORMAL OPERATIONS OF THE BUILDING & NEIGHBORING TENANTS. PROTECTIVE MEASURES & SCHEDULING SHALL BE ESTABLISHED TO MINIMIZE DISRUPTION & PROTECT PROPERTY NOT RELATED TO THIS PROJECT. PROVIDE THE ARCHITECT WITH A COPY OF THE SCHEDULE & DESCRIPTION OF PROTECTION.	20	CONTRACTOR SHALL COORDINATE WITH TENANT/OWNER THE SCHEDULE FOR ALL TELEPHONE COMPANY INSTALLATIONS.	4	VERIFY ALL EQUIPMENT MOUNTING REQUIREMENTS OF ALL ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT. FINISHES.	4	COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING ONLY, VERIFY EXACT LOCATIONS IN FIELD.
5	THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS & DIMENSIONS FOR ACCURACY & CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT IN WRITING & OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK. REQUESTS FOR ADDITIONAL CHARGES WILL NOT BE ENTERTAINED FOR THE CONTRACTOR'S FAILURE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.	21	ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE. WORK INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF BUSINESS FOR TENANTS SHALL BE DONE ON AN OVERTIME, NON-REGULAR BUSINESS HOURS BASIS TO BE COORDINATED WITH THE BUILDING MANAGER AND TENANT.	5	ALL CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY ARCHITECT AND COORDINATED WITH BUILDING MANAGER, FURNITURE DEALER AND TENANT PRIOR TO CORING.	5	CONTRACTOR SHALL CHALK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT, CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.
6	REFERENCES TO MAKES, BRANDS, AND MODELS IS TO ESTABLISH TYPE AND QUALITY DESIRED. SUBSTITUTIONS OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED IN WRITING BY THE ARCHITECT.	22	CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ALL UTILITIES DETERMINED IN THE COURSE OF CONSTRUCTION AS BEING NECESSARY TO BE REMOVED WHICH HAVE NOT OTHERWISE BEEN NOTED FOR REMOVAL IN THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH ARCHITECT, OWNER & TENANT. WHETHER PREDETERMINED IN THE CONSTRUCTION DOCUMENTS OR DETERMINED LATER IN FIELD, DISCONNECT, CUT BACK TO SOURCE, AND CAP ALL UTILITY SERVICES REMOVED. SEAL ALL PENETRATIONS CREATED BY REMOVAL OF UTILITIES TO MATCH ADJACENT CONSTRUCTION AND FINISH.	6	COORDINATE INSTALLATION OF TELEPHONE AND SECURITY SYSTEMS UNLESS OTHERWISE NOTED.	6	AT ACOUSTICAL PARTITIONS, STAGGER ALL JOINTS IN GYPSUM BOARD AND PROVIDE LOW DENSITY ACOUSTICAL BATT INSULATION: FOUR POUNDS PER CUBIC INCH, 2-1/2" THICK, UNFACED FIBERGLASS INSULATION OWENS-CORNING NOISE BARRIER, USG THERMAFIBER OR APPROVED EQUAL. WHERE BATT INSULATION IS INDICATED.
7	THE DESIGN CONCEPT OF THIS PROJECT IS BASED ON THE COLOR, DESIGN & TEXTURE OF FINISHED PRODUCTS SPECIFIED. IF THE CONTRACTOR FAILS TO ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATION THE ARCHITECT WILL NOT ENTERTAIN ANY REQUEST FOR MATERIAL SUBSTITUTION. INSTEAD, THE CONTRACTOR SHALL PROVIDE & INSTALL TEMPORARY FINISHES OR MATERIALS SATISFACTORY TO THE ARCHITECT & PROVIDE & INSTALL THE SPECIFIED FINISHES OR MATERIALS UPON THEIR ARRIVAL, MONIES WILL BE WITHHELD PENDING SATISFACTORY INSTALLATION OF SPECIFIED FINISHES & MATERIALS.	23	"ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.	7	WHERE MORE THAN ONE (1) SHEET VINYL COLOR HAS BEEN PROVIDED FOR FLOORING, CONTRACTOR TO REFER TO LAYOUT, U.O.N.	7	VERIFY ALL DIMENSION SHOWN ON DRAWINGS BY TAKING FIELD MEASUREMENTS; PROPER FIT AND ATTACHMENT OF ALL PARTS ARE REQUIRED. BEFORE COMMENCING WORK, CHECK ALL LINES AND LEVELS INDICATED AND OTHER SUCH WORK AS HAS BEEN COMPLETED. SHOULD THERE BE ANY DISCREPANCIES, REPORT IMMEDIATELY TO THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS.
8	THE CONTRACTOR SHALL CONFIRM ALL LEAD TIMES FOR FINISH MATERIALS AT TIME OF BIDDING TO ASSURE AVAILABILITY OF MATERIALS FOR THE PROJECT, AS SCHEDULE REQUIRES. ANY COST FOR SPECIAL HANDLING OR AIR FREIGHT OF MATERIALS IN ORDER TO MEET REQUIRED DEADLINES IS THE RESPONSIBILITY OF THE CONTRACTOR.	24	PRIOR TO DISCONNECTION OF ANY ELECTRICAL RISER, LIFE SAFETY DEVICE, HVAC RISER, ETC, BUILDING REPRESENTATIVE IS TO BE NOTIFIED. CONTRACTOR TO SUBMIT A WRITTEN REQUEST FOR EACH SHUT DOWN. ADEQUATE TIME IS TO BE GIVEN FOR REVIEW AND APPROVAL OF SUCH REQUESTS. CONTRACTOR IS TO ADHERE TO APPROVED SCOPE OF WORK & SCHEDULE DURING EACH APPROVED SHUT DOWN.	8	REMOVE ALL FLOOR MONUMENTS PRIOR TO CARPET INSTALLATION. REMOVE COVER PLATES FROM ALL PREVIOUSLY CAPPED OUTLETS. ALL CAPPED OUTLETS ARE TO BE FLUSH WITH FLOOR SURFACE.	8	CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL ELECTRICAL AND PLUMBING DESIGN BUILD SUB CONTRACTORS AND REPORT IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INCURRED DUE TO LACK OF PROPER COORDINATION.
9	ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.	25	"TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR (OR SIM.) CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN THEY FIRST OCCUR. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED.	9	ALL NEW DEICATED OUTLETS SHALL BE IDENTIFIED BY THE LETTER "D". THE HALF OF EACH FOURPLEX OUTLET THAT IS TO BE ON A DEDICATED CIRCUIT SHALL BE IDENTIFIED BY A "D". ALL DEDICATED OUTLETS TO BE COLORED ORANGE. INCLUDE OUTLET ID WITH PANEL AND BREAKER NUMBER.	9	ALL PARTITIONS SHALL BE ANCHORED FIRMLY AND BRACED AS REQUIRED BY CODE. SEE DETAILS.
10	THE CONTRACTOR SHALL PROMPTLY REPORT TO THE ARCHITECT DISCREPANCIES FOUND BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE DRAWINGS SO THAT CLARIFICATIONS MAY BE ISSUED.	26	VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND WORK WITHIN "BUILDING CORE AREAS" SHALL BE NIC UNLESS OTHERWISE NOTED.	10	INTERIOR GYPSUM WALLBOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAP WHICH MAY HAVE FORMED IN SANDING PROCESS.	10	ALL GLAZING SHALL MEET REQUIREMENTS OF GOVERNMENTAL CODES AND ORDINANCES, AND MEET DESIGN STRESS REQUIREMENTS FOR SIZE. SUBMIT SAMPLES OF GLASS TO ARCHITECT FOR REVIEW PRIOR TO ORDERING, FOR ABOVE STANDARD DETAILS ONLY.
11	THE CONTRACTOR SHALL PREPARE ALL EXISTING SURFACES AS REQUIRED TO RECEIVE SPECIFIED FINISH. SHOP DRAWINGS & SUBMITTAL MUST BE PROVIDED FOR ARCHITECT'S APPROVAL BEFORE BEGINNING ANY MILLWORK FABRICATION AND PRIOR TO ORDERING ALL MATERIALS.	27	WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH TENANT AND BUILDING MANAGER TO ENSURE SECURITY.	11	ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING.	11	CONTRACTOR WILL INSPECT AND LEVEL FLOOR WHERE REQUIRED, AND INSTALL "LEVELING" UNDERLAYMENT AT VCT, WOOD FLOORS AND BUILT-IN FILE LOCATIONS TO ASSURE LEVEL SURFACE AND ALIGNMENT WITH ADJACENT CARPET AND/ OR PAD, UNLESS OTHERWISE NOTED.
12	THE CONTRACTOR SHALL PATCH OR OTHERWISE FURNISH AND INSTALL MATERIALS REQUIRED TO MATCH EXISTING CONDITIONS AS NOTED & AS A RESULT OF THE WORK. ANY CONDITIONS REQUIRING DETAILING SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NEW GYPSUM BOARD CONSTRUCTION MEETING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH, WITH NO VISIBLE JOINTS SHOWING.	28	THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES. PROVIDE TEMPORARY SUPPORT IF NECESSARY.	12	THE CONTRACTOR SHALL, UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPATTERED ON EXPOSED ADJACENT SURFACES.	12	ALL WORK SHALL BE INSTALLED AS SHOWN ON DRAWINGS PLUMB, LEVEL, TRUE TO LINE AND SECURELY FASTENED OR ANCHORED.
13	GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY OF ELEVATORS AND/OR LOADING DOCKS FOR THE PURPOSES OF DELIVERY AND ALSO AS TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS, TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATION. ALL WORK SCHEDULING SHALL BE SUBMITTED TO BUILDING MANAGER AND TENANT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK.	29	THE SCOPE OF WORK AND ADJACENT AREAS (INCLUDING "PATH OF ACCESS" AND LOBBY WHERE IT APPLIES TO THIS WORK) SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.	13	PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH MATERIALS SUBMIT SAMPLES TO ARCHITECT FOR REVIEW IN CONFORMANCE WITH SPECIFIED PROCEDURES. ALLOW TIME FOR SUBMITTAL REVIEW AND FOR RESUBMITTALS IF REQUIRED.	13	ALL MILLWORK SHALL CONFORM TO THE STANDARDS OF THE W.I.C. FOR QUALITY AND CRAFTSMANSHIP. STANDARD CLASSIFICATIONS: P. LAM. -W.I.C. CUSTOM. CUSTOM WD. - W.I.C. PREMIUM.
14	ALL HEIGHTS ARE DIMENSIONED FROM TOP OF FINISH FLOOR (A.F.F.), UNLESS OTHERWISE NOTED.	30	ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, BEFORE PROCEEDING.	14	ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING.	14	NOT USED.
15	SIEMENS FIRE LIFE SAFETY DEVICES AND CONNECTIONS TO BE USED.	31	ALL WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER/TENANT OR UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.	15	ALL ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING.	15	CONTRACTOR SHALL INSTALL DOORS COMPLETE WITH ALL HARDWARE FITTINGS AND ACCESSORIES AS REQUIRED FOR SPECIFIC INSTALLATION AND FURNISH ANY SPECIAL ITEMS REQUIRED FOR CODE CONFORMANCE (SUCH AS ADA) AT EVERY

A1.0

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Project:

Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:

491-142



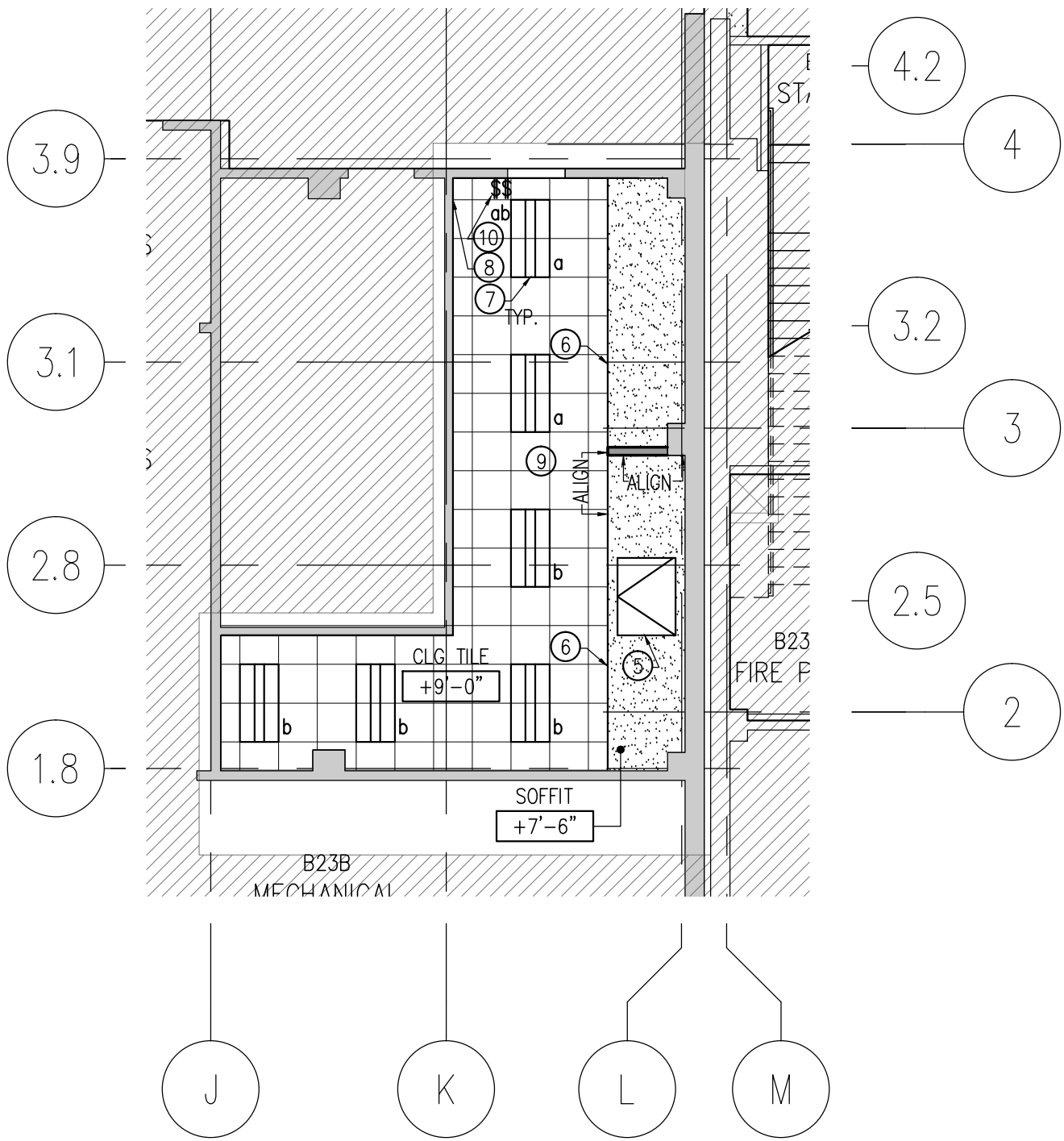
Clients:

UC Hastings College of Law
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San Francisco, CA

Rev.	Issue	Date
	BID SET	11.05.14

Seal:

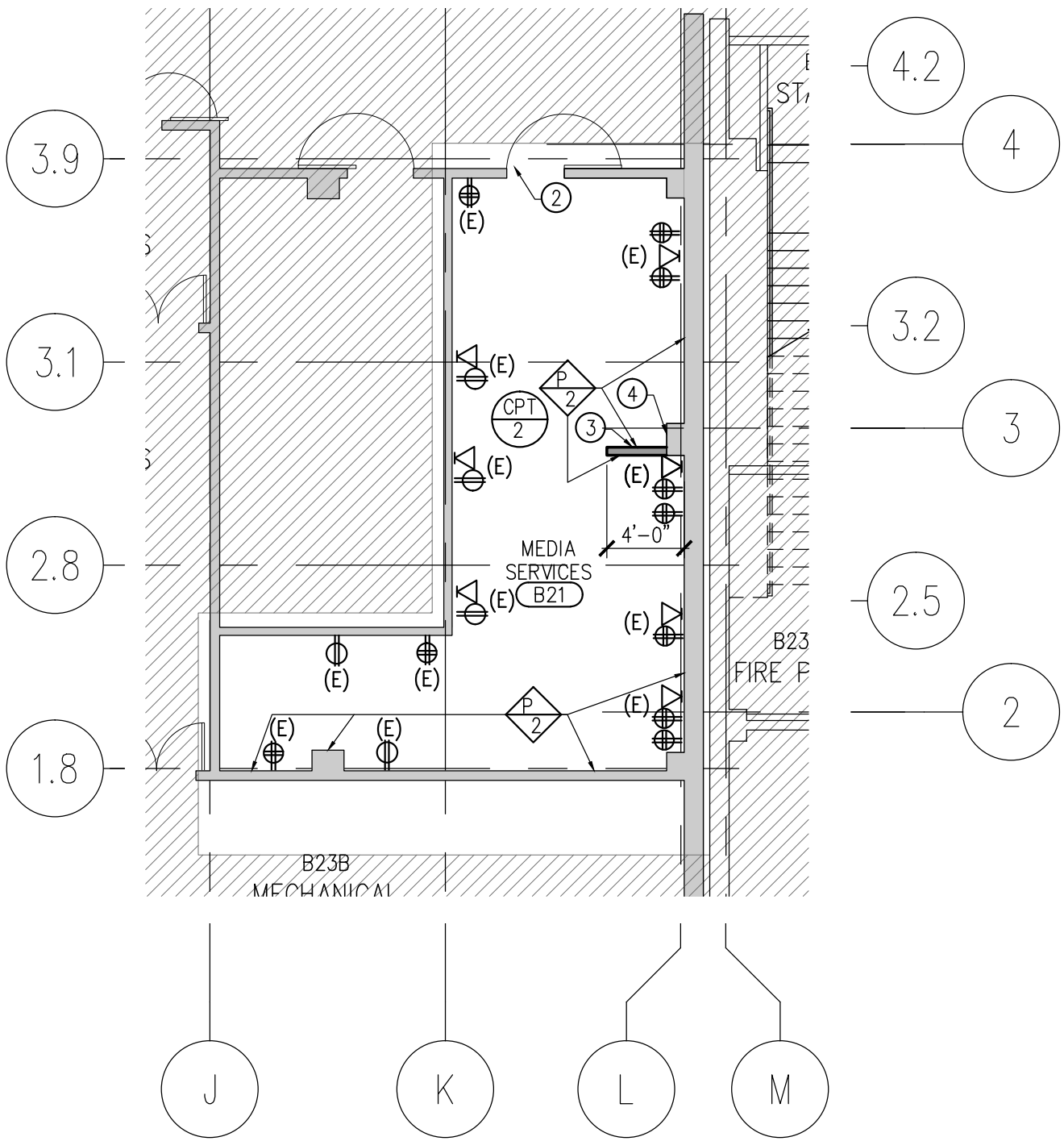
NOTE ON EGRESS/ACCESSIBILITY							
EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE TO USE, OCCUPANCY, OR EGRESS PATH.							
OCCUPANT LOADS							
USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
MEDIA SERVICES OFFICE B21	445	1:100	4	1	1	32"	36"



REFLECTED CEILING PLAN

Scale: 1/8" = 1'-0"

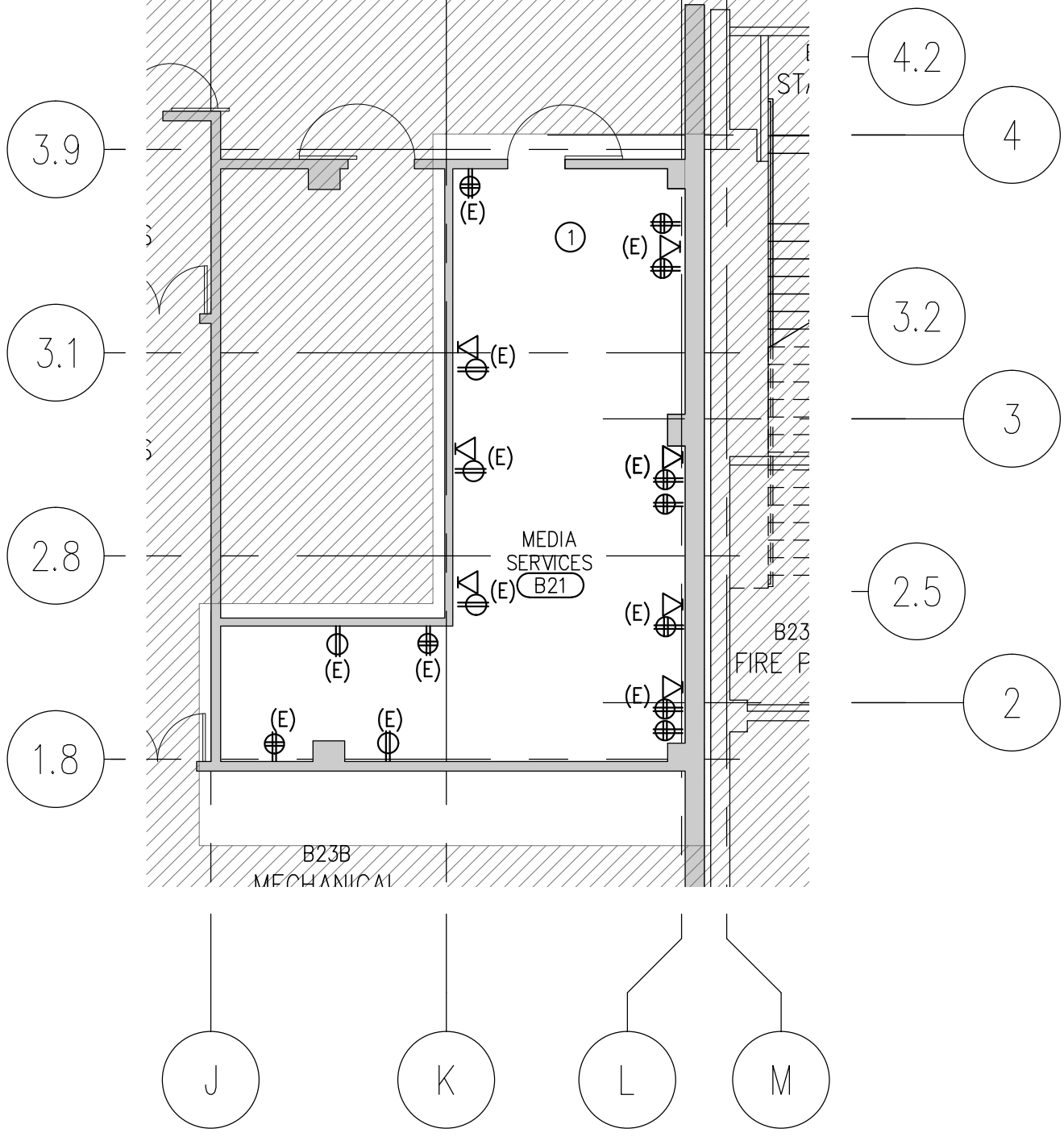
3



PLAN

Scale: 1/8" = 1'-0"

2



DEMOLITION PLAN

Scale: 1/8" = 1'-0"

1

PLAN KEYNOTES		GENERAL NOTES	LEGEND	
① REMOVE EXISTING CARPET.	⑧ CUT IN NEW FIRE EXTINGUISHER CABINET, TOP OF CABINET TO BE 60" AFF. ALTA 7063-DV SEMI-RECESSED, STAINLESS STEEL, VERTICAL BLACK LETTERING	1. REMOVE ALL EXISTING LIGHTS. RETURN TO OWNER.		EXISTING INTERIOR & EXTERIOR WALL
② EXISTING DOOR TO REMAIN.	⑨ USE EXISTING REGISTERS AND RETROFIT WITH FLEXIBLE DUCTS TO NEW CEILING GRILLS.	2. ALLOW FOR PATCHING OF EXISTING WALLS AS NEEDED.		NEW FULL HEIGHT INTERIOR WALL
③ NEW WALL PARTITION, TYPE C. SEE 2/A7.0.	⑩ SWITCH LIGHTS AS SHOWN.	3. PAINT WALLS P-1 UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.		WALL TO BE REMOVED
④ REMOVE EXISTING FIRE EXTINGUISHER.		4. SAVE REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER.		DATA PORT
⑤ NEW 3'x4' CEILING ACCESS PANEL, COORDINATE LOCATION WITH TELEPHONE EQUIPMENT. PAINT TO MATCH CEILING.		5. NEW RUBBER BASE ON ALL WALLS. SEE FINISH SCHEDULE FOR SPEC.		QUAD OUTLET
⑥ NEW GYPSUM BOARD SOFFIT. SEE 6/A6.0. ALIGN FACE WITH NEW WALL. PAINT P-6.		6. SEE SHEET A6.0 FOR CEILING DETAILS.		DUPLEX OUTLET
⑦ NEW FLUORESCENT LED LIGHT		7. SEE SHEET A7.0 FOR WALL PARTITION TYPES.		ARMSTRONG CEILING SYSTEM
		8. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND HAVE MOTION SENSORS.		2'x4' LIGHT COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS.
				CEILING ACCESS PANEL

Scale: 1/8" = 1'-0"

Drawing Description:

**BASEMENT PLAN AND RCP IN
198 McALLISTER**

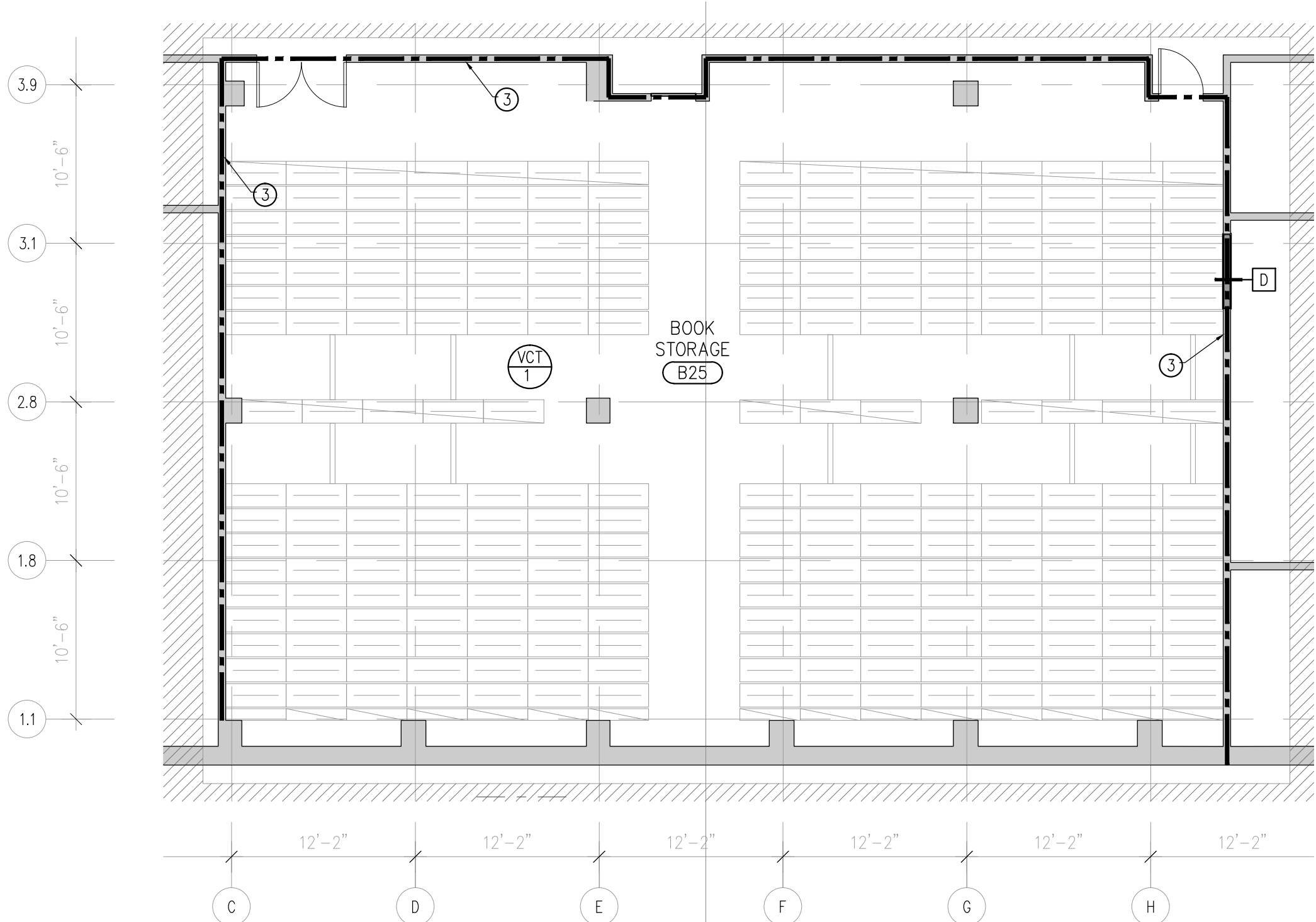
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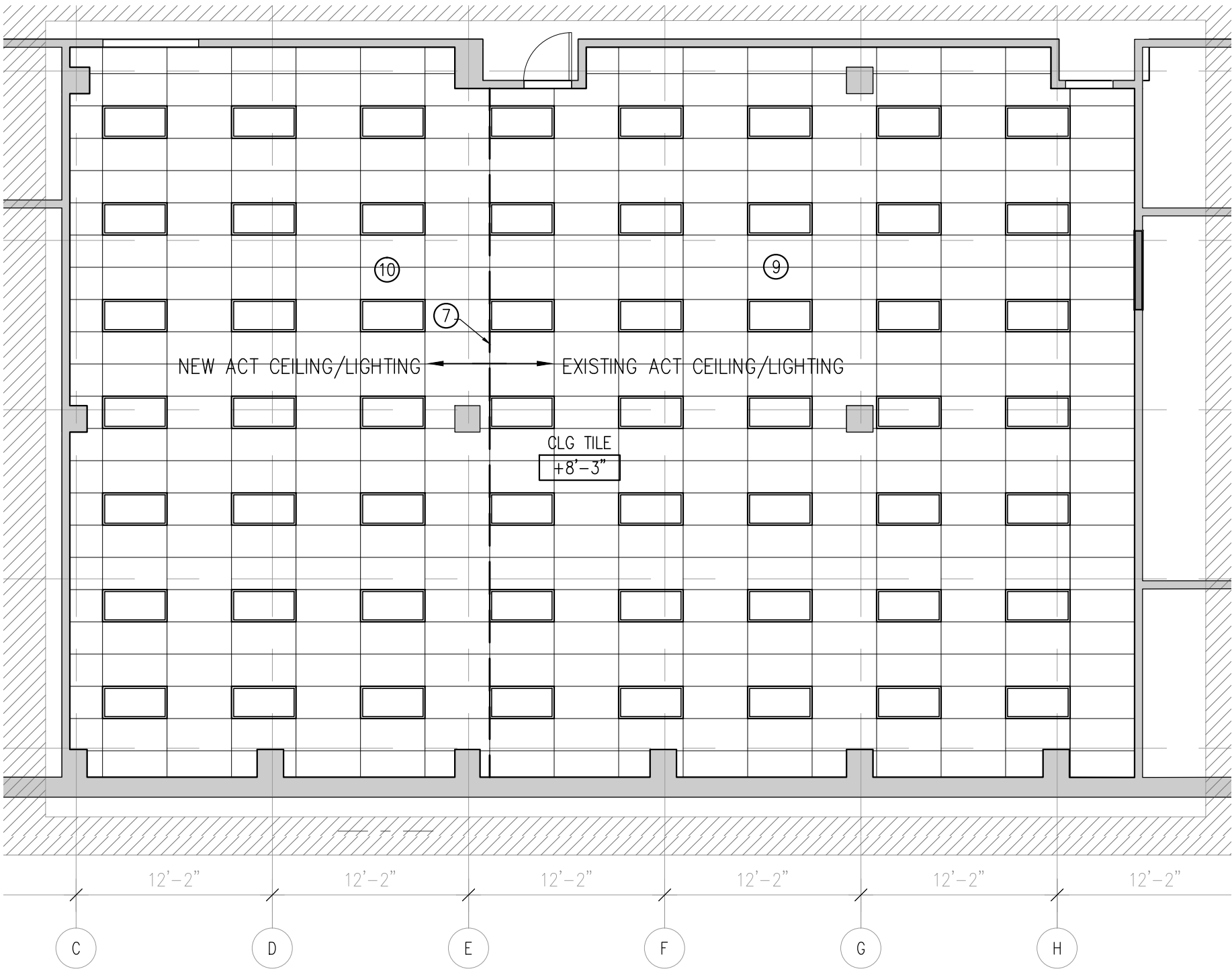
NOTE ON EGRESS/ACCESSIBILITY							
EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE IN OVERALL BUILDING USE. CHANGE IN USE OF B27 FROM OFFICE (B) TO ACCESSORY STORAGE (S-1).							
OCCUPANT LOADS							
USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
HIGH DENSITY STORAGE B25	2,935	1:300	10	1	2	32"	35" & 71"



FLOOR PLAN

Scale: 1/8" = 1'-0"

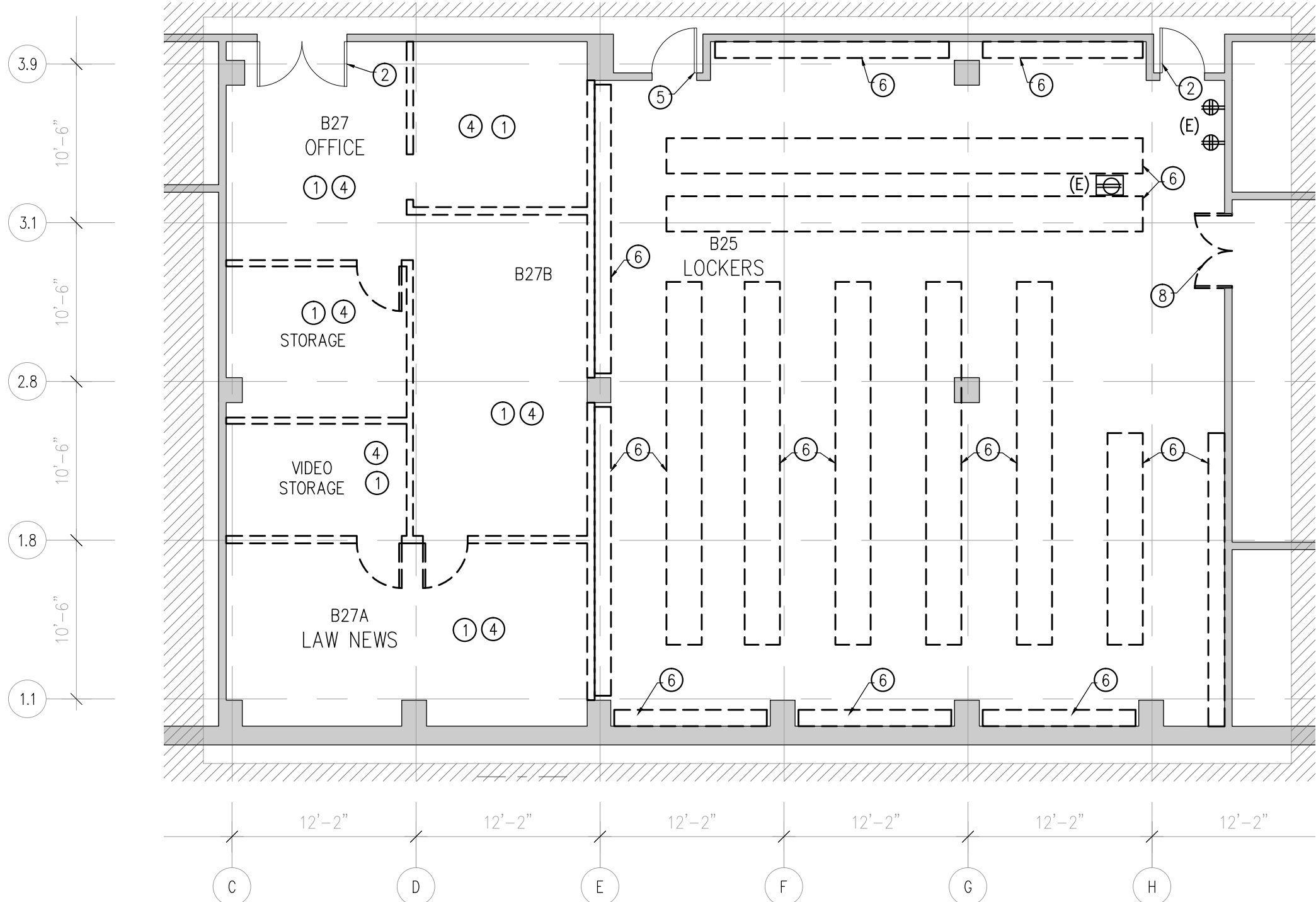
2



REFLECTED CEILING PLAN

Scale: 1/8" = 1'-0"

3



DEMOLITION PLAN

Scale: 1/8" = 1'-0"

1

PLAN KEYNOTES		GENERAL NOTES	LEGEND	
① REMOVE EXISTING CARPET.	⑨ EXISTING HVAC AND REGISTERS TO REMAIN.	1. ALLOW FOR PATCHING OF EXISTING WALLS AND COLUMNS TO MAKE SMOOTH.	EXISTING INTERIOR & EXTERIOR WALL	24" X 48" RECTANGULAR TILES (MATCH EXISTING)
② EXISTING DOOR TO REMAIN.	⑩ RECONFIGURE EXISTING HVAC AND REGISTERS IN NEW CEILING. DISTRIBUTE UNIFORMLY.	2. PAINT WALLS P-1 UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.	NEW FULL HEIGHT INTERIOR WALL	2'X4' BUILDING STANDARD DIRECT/INDIRECT LIGHT
③ VERIFY WALL/DOORS ARE 1 HR PARTITIONS. CONTRACTOR RESPONSIBLE FOR PATCHING ANY EXISTING PENETRATIONS TO MAKE 1 HR RATING.		3. SAVE REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER.	WALL TO BE REMOVED	
④ DEMO CEILING GRID. SAVE LIGHTS FOR REUSE IN NEW CEILING GRID.		4. NEW RUBBER BASE ON ALL WALLS. SEE FINISH SCHEDULE FOR SPEC.	QUAD OUTLET	
⑤ LOCK EXISTING DOOR AND REMOVE LATCH HARDWARE.		5. SEE SHEET A1.5 FOR FINISH SCHEDULE.	DUPLEX OUTLET	
⑥ DEMO CONCRETE LOCKER PADS.		6. SEE SHEET A6.0 FOR CEILING DETAILS.	DUPLEX FLOOR BOX OUTLET	
⑦ ALIGN NEW CEILING TILE WITH EXISTING.		7. SEE SHEET A7.0 FOR WALL PARTITION TYPES.	1 HR RATED WALL	
⑧ DEMO EXISTING DOOR AND FRAME.		8. SAVE LIGHTS FOR REUSE		
		9. VCT FLOORING TO BE INSTALLED ON TOP OF HIGH DENSITY SHELVING FLOOR. COORDINATE WITH SHELVING INSTALLER.		
		10. NEW VCT FLOOR TO MATCH EXISTING VCT FLOOR.		
		11. REPLACE CEILING TILE AS NEEDED.		
		12. HIGH DENSITY STORAGE SHOWN FOR REFERENCE. BY OTHERS.		
		13. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.		

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Architects:

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Project:
Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
491-142



Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	11.05.14

Seal:

Scale: 1/8" = 1'-0"

Drawing Description:

**HIGH DENSITY STORAGE
PLANS IN 198 MCALLISTER**

Date:

Drawn By: -- Checked By: --

Sheet Number:

A1.2

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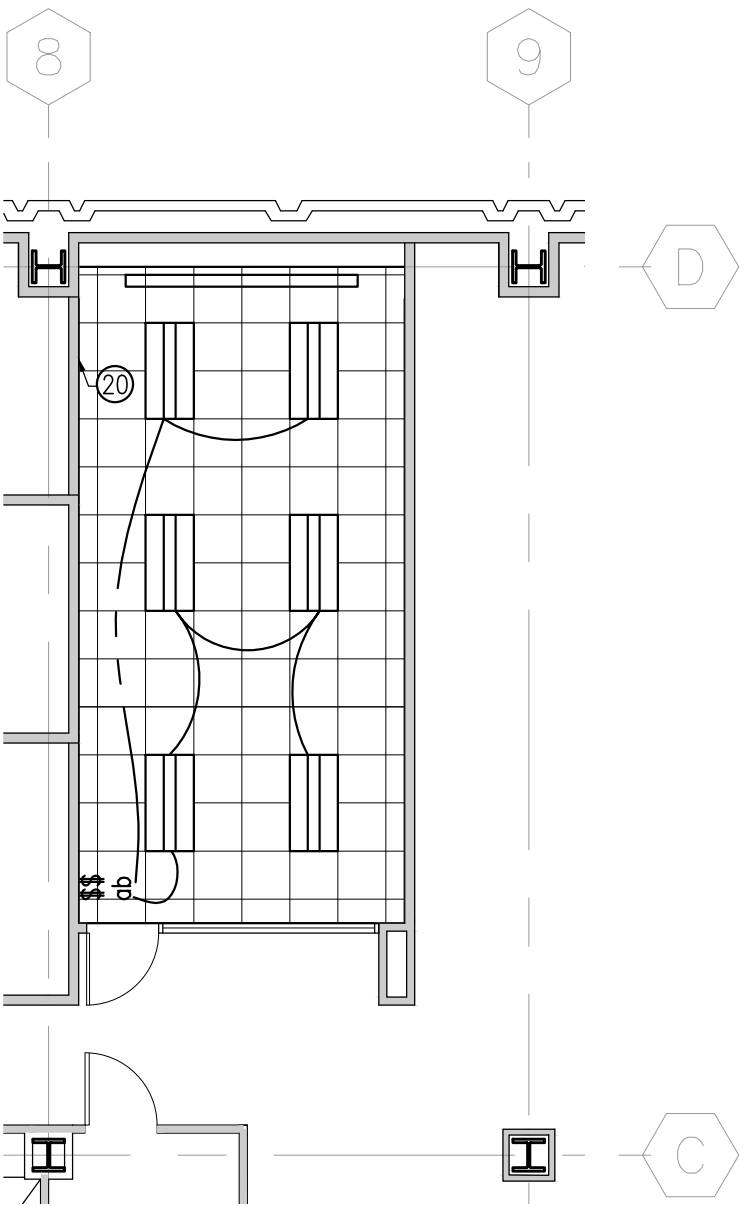
Project:
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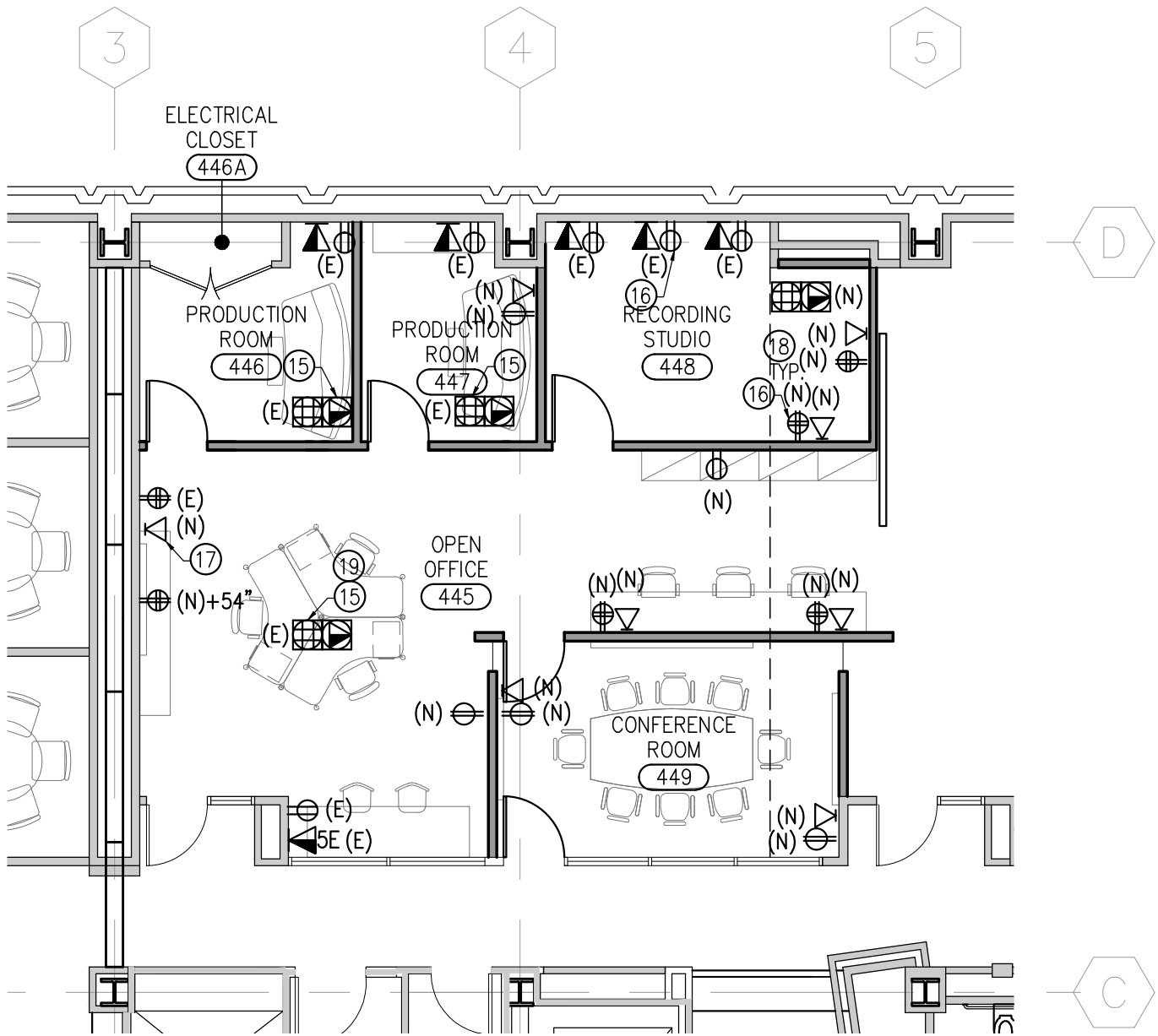
NOTE ON EGRESS/ACCESSIBILITY							
EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE TO USE, OCCUPANCY, OR EGRESS PATH.							
OCCUPANT LOADS							
USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
PRODUCTION ROOM 446	97	1:100	1	1	1	32"	36"
PRODUCTION ROOM 447	89	1:100	1	1	1	32"	36"
RECORDING STUDIO 448	162	1:100	2	1	1	32"	36"
OPEN OFFICE 445	495	1:100	5	1	1	32"	36"
CONFERENCE ROOM 449	180	1:15	12	1	1	32"	36"
ELECTRICAL CLOSET 446A	13	N/A	0	0	0	0	0
TOTAL	1036	--	21	1	1	32"	36"



TRAINING ROOM

Scale: 1/8" = 1'- 0"

4

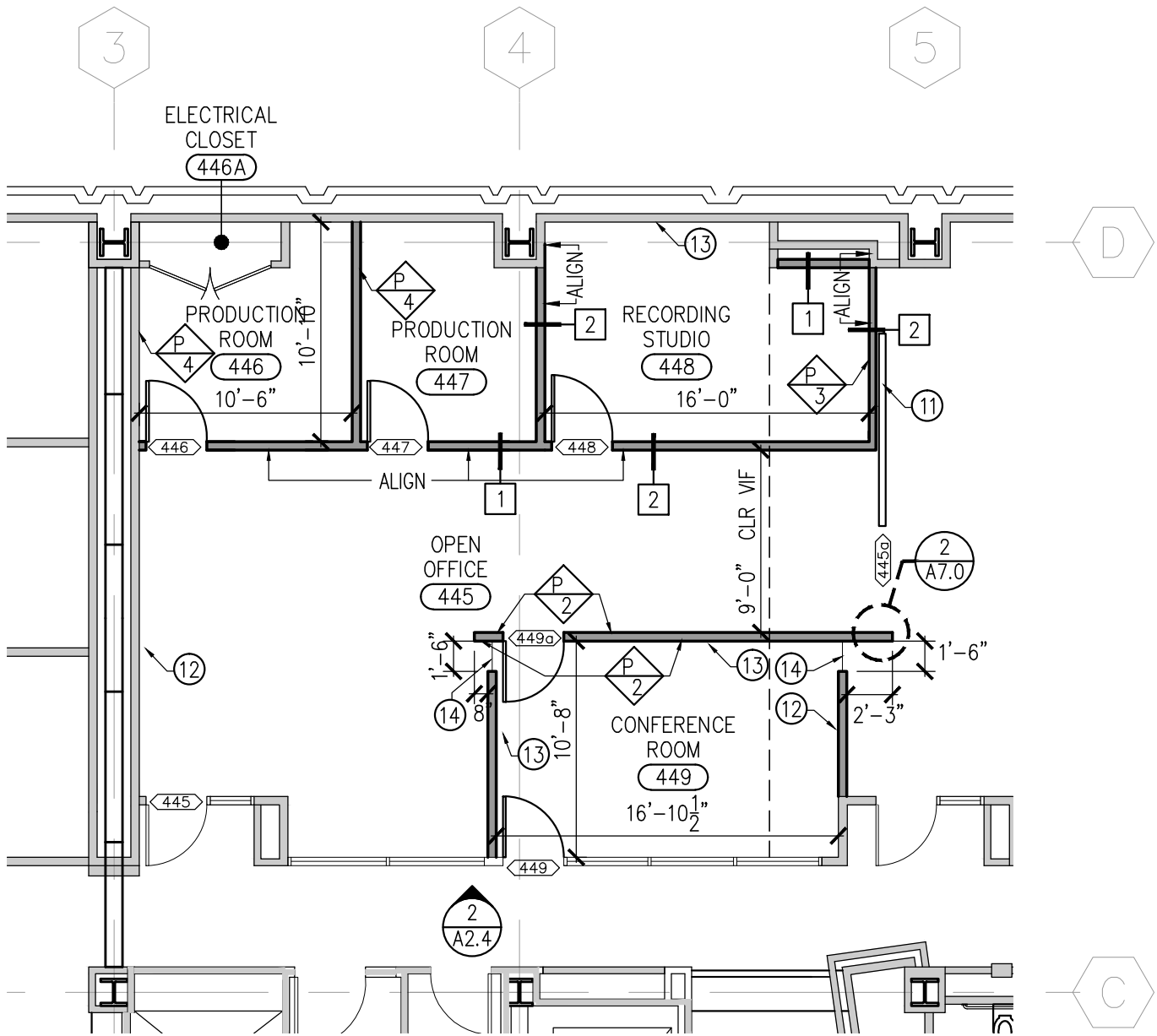


FURNITURE SHOWN FOR REFERENCE ONLY.

POWER SIGNAL PLAN

Scale: 1/8" = 1'- 0"

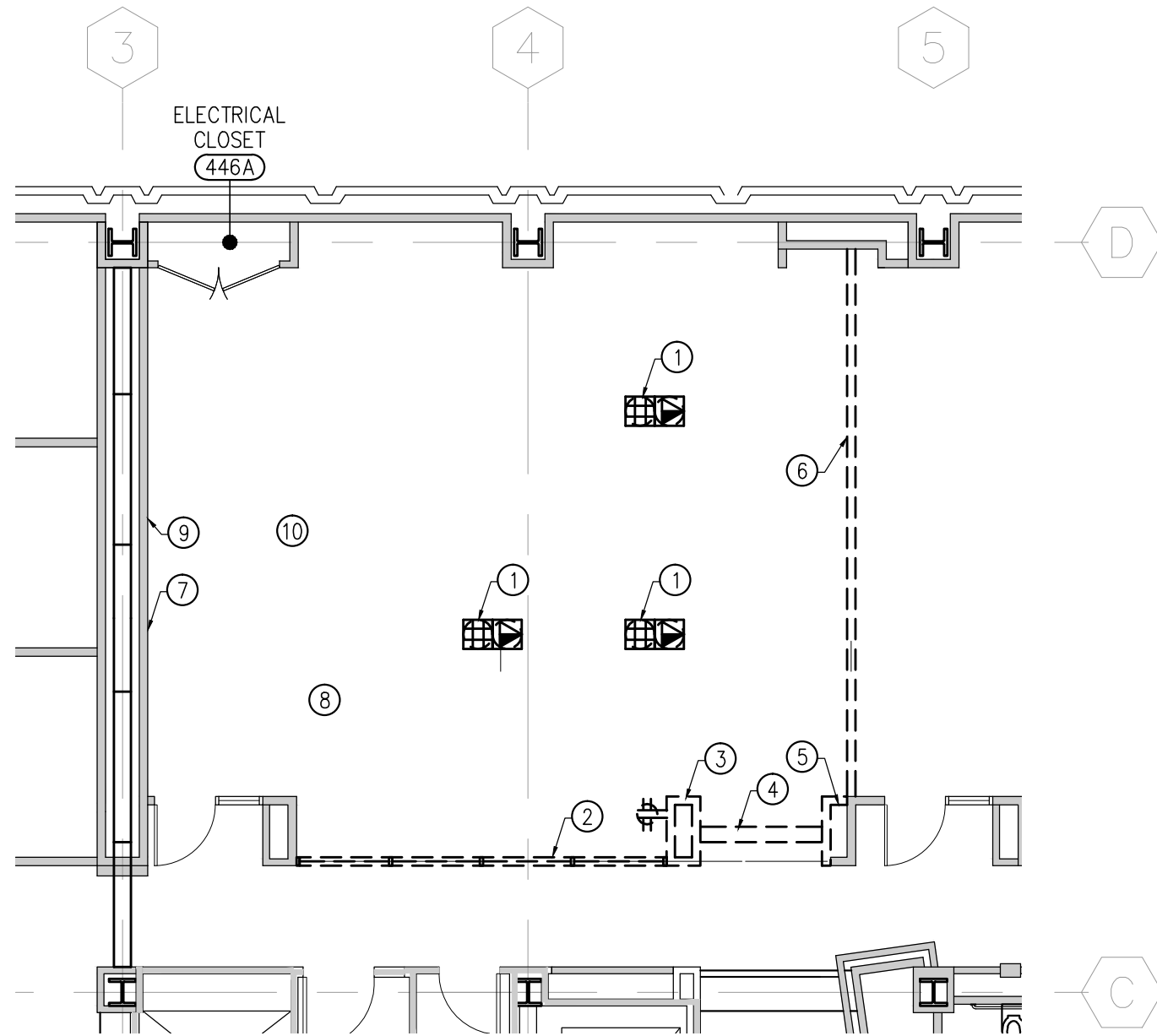
3



PLAN

Scale: 1/8" = 1'- 0"

2



DEMOLITION PLAN

Scale: 1/8" = 1'- 0"

1

Rev.	Issue	Date
	BID SET	11.05.14

Seal:

PLAN KEYNOTES

- | | |
|---|--|
| ① REMOVE AND PATCH FLOOR AT EXISTING FLOOR BOX. | ⑪ PRICE AS ALTERNATE: SLIDING BARN DOOR. SEE DOOR SCHEDULE. |
| ② REMOVE EXISTING STOREFRONT SYSTEM. | ⑫ NEW MONITOR PROVIDED BY OWNER. PROVIDE BACKING AND PATHWAYS. |
| ③ REMOVE WALL CONSTRUCTION AND RELOCATE ANY INSIDE INFRASTRUCTURE. CONFIRM WITH ARCHITECT. | ⑬ NEW 4'X5' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE |
| ④ REMOVE EXISTING SLANTED GLASS WINDOW. | ⑭ FRAMELESS GLASS WINDOW, SEE DETAIL 1/A7.0. |
| ⑤ REMOVE WALL CONSTRUCTION AND RELOCATE ANY INSIDE INFRASTRUCTURE. FINISH EXPOSED WALL TO MATCH EXISTING ADJACENT WALL. | ⑮ LEAVE EXISTING FLOOR BOX FOR FUTURE USE. |
| ⑥ BRING FOLDING WALL UP TO CEILING, REMOVE MOTORIZED CONTROLS TO SECURE WALL IN OPEN POSITION. | ⑯ DEDICATED CIRCUIT. |
| ⑦ REMOVE EXISTING PROJECTION SCREEN AND PROJECTOR. RETURN TO OWNER. | ⑰ INPUT BACK BOX. PROVIDE 1-1/4" CONDUIT AND PATHING TO TV AT 54" AFF. |
| ⑧ REMOVE EXISTING CEILING TILES. SAVE AND REUSE EXISTING LIGHTS. | ⑱ PROVIDE ACOUSTICAL SEALANT AROUND ALL NEW WALL PENETRATIONS, INCLUDING BACK BOXES AND RECEPTACLES. TYP. IN RECORDING STUDIO. |
| ⑨ REMOVE AND SAVE EXISTING CONTROL PANEL. PATCH WALL TO MATCH EXISTING. | ⑲ ALTERNATE: PROVIDE 3/4" CONDUIT PATHING FROM FLOOR BOX TO BACK BOX BEHIND TV. |
| ⑩ EXISTING CARPET TO REMAIN. PROTECT AND REPLACE AS NEEDED. | ⑳ 2ND CONTROL/DIMMING SWITCH. SWITCH LIGHTS AS SHOWN ON OVERALL PLAN. |

GENERAL NOTES

- PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED.
- REMOVE AND SAVE EXISTING LIGHTS, CEILING TILES, REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER.
- LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED.
- PROVIDE BACKING AS REQUIRED.
- SEE SHEET A1.5 FOR FINISH SCHEDULE
- NEW WALLS TO BE TYPE 1 U.O.N.
- PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
- SEE SHEET A6.0 FOR CEILING DETAILS.
- SEE SHEET A7.0 FOR WALL PARTITION TYPES.
- PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED.
- PARTITIONS DIMENSIONED TO FINISH FACE U.O.N.
- NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND MOTION SENSORS.
- RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.

LEGEND

- | | | | |
|--|-----------------------------------|--|---|
| | EXISTING INTERIOR & EXTERIOR WALL | | ARMSTRONG CEILING SYSTEM |
| | NEW FULL HEIGHT INTERIOR WALL | | 24"x 24" SQUARE TEGULAR TILES, MATCH BUILDING STANDARD. |
| | WALL TO BE REMOVED | | 2'X4' LIGHT COOPER LIGHTING
130513-24EN-2X4-LED WITH DIMMING CONTROLS. |
| | DATA PORT | | |
| | QUAD OUTLET | | |
| | DUPLEX OUTLET | | |

Scale: **AS NOTED**

Drawing Description:

4th FLOOR PLANS
IN 200 McALLISTER

Date:

Drawn By: --

Checked By: --

Sheet Number:

A1.4

NOTE ON EGRESS/ACCESSIBILITY							
EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE IN OVERALL BUILDING USE. NO CHANGE IN USE TO ROOM 425. CHANGE IN USE FROM STORAGE TO OPEN OFFICE IN ROOMS 424 & 427.							
OCCUPANT LOADS							
USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
READING ROOM 424	97	1:50	2	1	1	32"	36"
READING ROOM 425	83	1:50	2	1	1	32"	32"
OPEN OFFICE 427*	182	1:100	2	---	---	---	---

* = FOR NEWLY OPENED AREA ONLY

PAINTS AND WALL COVERINGS	
	MANUFACTURER: DUNN EDWARDS STYLE NAME: ACRI-WALL (ZERO VOC) COLOR: MATCH EXISTING
	MANUFACTURER: DUNN EDWARDS STYLE NAME: ACRI-WALL (ZERO VOC) COLOR: SILVER STORM DE5822
	MANUFACTURER: DUNN EDWARDS STYLE NAME: ACRI-WALL (ZERO VOC) COLOR: DRENCHED RAIN DE5883
	MANUFACTURER: DUNN EDWARDS STYLE NAME: ACRI-WALL (ZERO VOC) COLOR: BREATH OF SPRING DE5478
	MANUFACTURER: DUNN EDWARDS STYLE NAME: ACRI-WALL (ZERO VOC) COLOR: LUSTROUS YELLOW DE5472
	MANUFACTURER: BUZZSPACE STYLE NAME: BUZZSKIN COLOR: OFFWHITE 063

WINDOW FILM	
WF-1	MANUFACTURER: 3M TYPE: DUSTED CRYSTAL NOTE: "WINDOW FILM" NOTED ON INT. ELEVATIONS REFERS TO THIS TYPE
CARPET	
	MANUFACTURER: SHAW STYLE NAME: APPLIED TILE 5T004 COLOR: MARLITE 04210 COLLECTION: LIGHT SERIES
	MANUFACTURER: TBD STYLE NAME: TBD COLOR: TBD DETAILS: OFCI
	MANUFACTURER: SHAW STYLE NAME: APPLIED TILE 5T004 COLOR: BRILLIANT 04284 COLLECTION: LIGHT SERIES
BASE	
	MANUFACTURER: BURKE FLOORING STYLE NAME: RUBBER TYPE TS COLOR: MATCH EXISTING DETAILS: CONTINUOUS ROLL.
FLOOR	
	MANUFACTURER: MATCH EXISTING STYLE NAME: MATCH EXISTING COLOR: MATCH EXISTING

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Media Services Relocation
200 McAllister Street
San Francisco, CA

Project Number:
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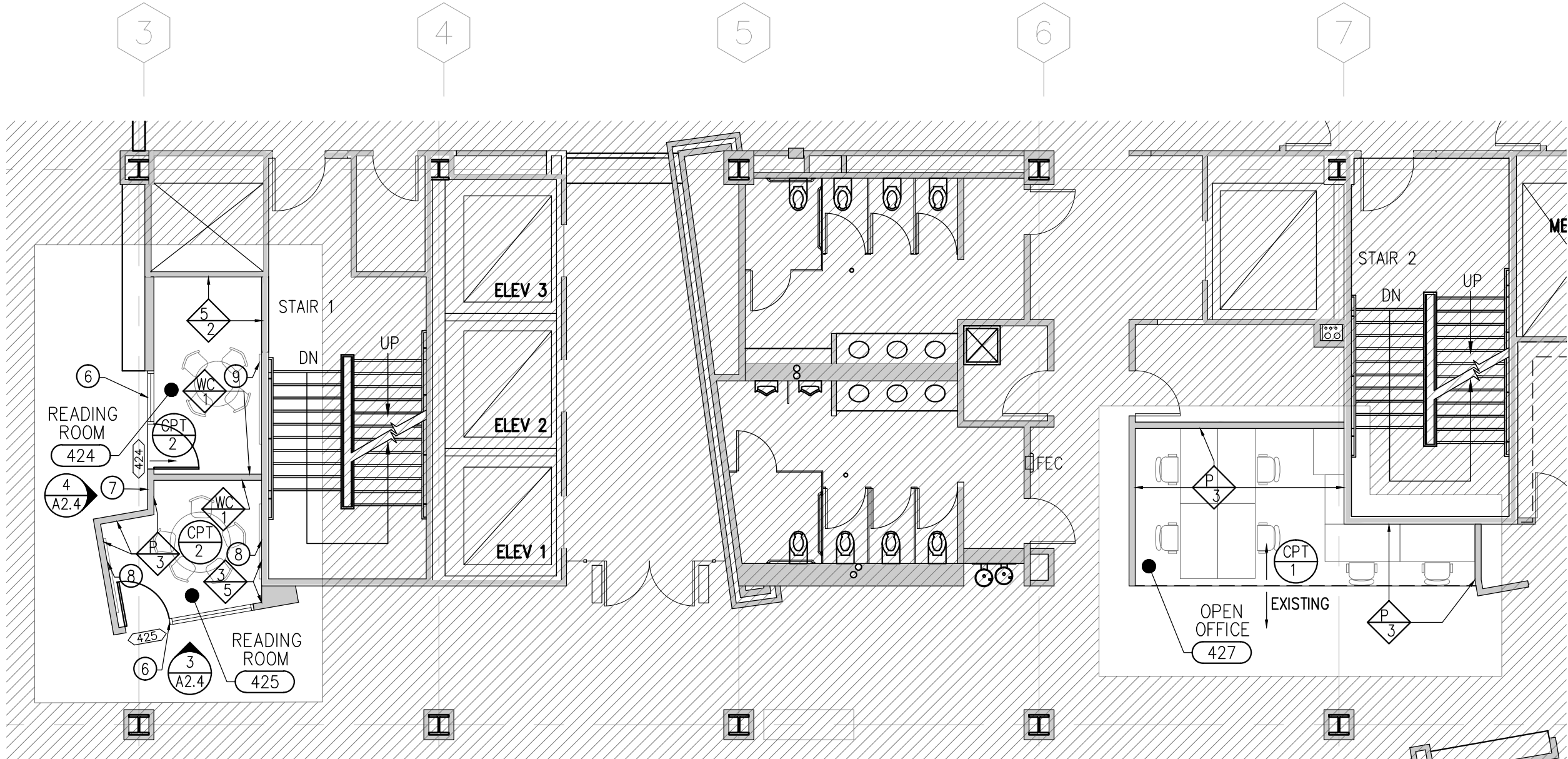


Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

FINISH SCHEDULE

Scale: --

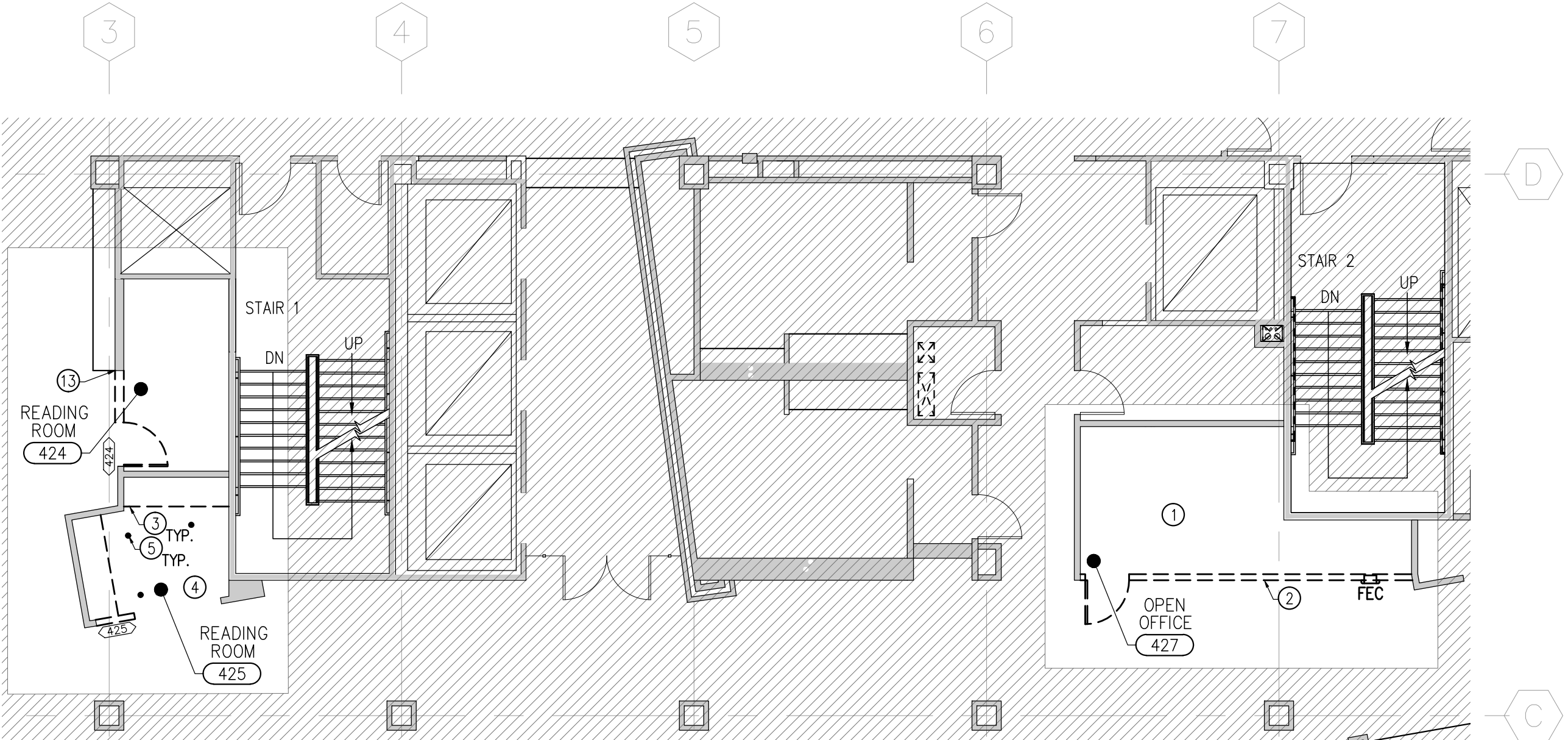
3



PLAN

Scale: 1/8" = 1'- 0"

2



DEMOLITION PLAN

Scale: 1/8" = 1'- 0"

1

PLAN KEYNOTES		GENERAL NOTES	LEGEND
① REMOVE AND SAVE EXISTING LIGHTS. RETURN TO OWNER. REPLACE CEILING TILES AS NEEDED, MATCH EXISTING.	⑪ EXISTING HVAC AND REGISTERS TO REMAIN.	1. PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED.	EXISTING INTERIOR & EXTERIOR WALL
② CUT BACK WALL TO FORM SOFFIT EDGE AT 8"-6" AFF. RELOCATE PHONE.	⑫ RECONFIGURE EXISTING HVAC AND REGISTERS IN NEW CEILING. DISTRIBUTE UNIFORMLY.	2. PROVIDE BACKING AS REQUIRED.	NEW FULL HEIGHT INTERIOR WALL
③ REMOVE EXISTING SOLID SURFACE COUNTER.	⑬ CUT BACK EXISTING WALL TO 4" FROM EXISTING BOOKCASE	3. NEW WALLS TO BE TYPE 1 U.O.N.	WALL TO BE REMOVED
④ EXISTING SOFFIT TO REMAIN. RELOCATE DOWN LIGHTS AND PATCH CEILING.		4. PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.	DATA PORT
⑤ REMOVE AND RELOCATE EXISTING LIGHT FROM CEILING.		5. SEE SHEET A6.0 FOR CEILING DETAILS.	QUAD OUTLET
⑥ NEW ALUMINUM FRAME STOREFRONT SYSTEM WITH GLASS SIDELIGHT, MATCH EXISTING.		6. SEE SHEET A1.5 FOR FINISH SCHEDULE.	DUPLEX OUTLET
⑦ RELOCATED EXISTING PHONE.		7. SEE SHEET A7.0 FOR WALL PARTITION TYPES.	
⑧ NEW 4'x5' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE		8. PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED.	
⑨ NEW 4'x6' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE		9. FURNITURE SHOWN FOR REFERENCE ONLY.	
		10. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.	

Scale: **AS NOTED**

Drawing Description:
**4th FLOOR STUDY ROOMS
IN 200 McALLISTER**

Date:
Drawn By: -- Checked By: --

Sheet Number:

A1.5

DOOR SCHEDULE

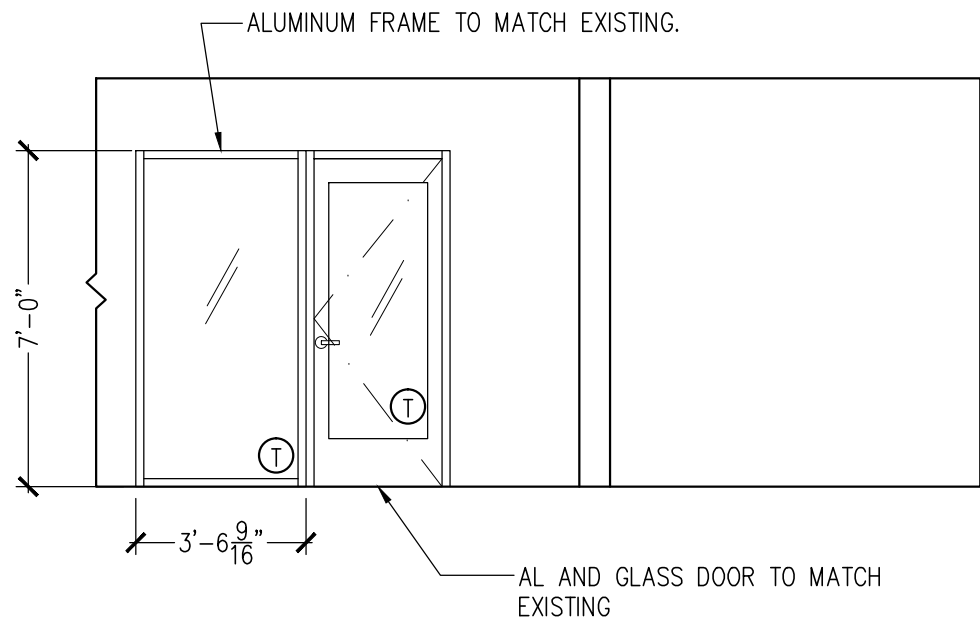
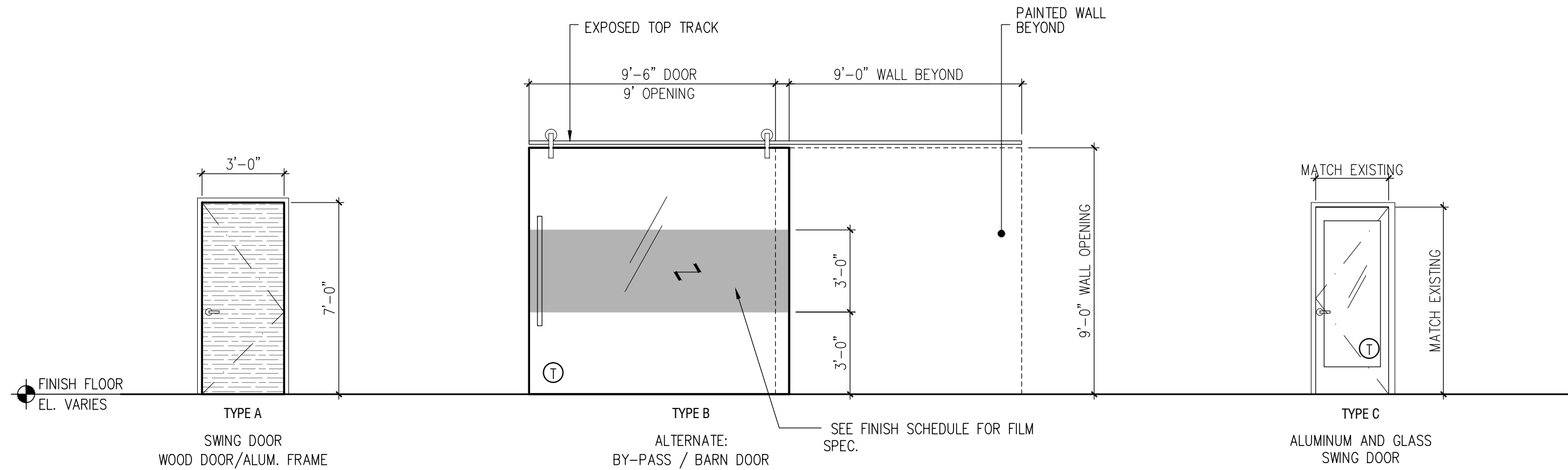
DOOR					FRAME TYPE		FIRE RATING (11)	HARDWARE		NOTES
DOOR NUMBER	TYPE (1)	SIZE (2)	MATERIAL (4)	FINISH (6)	MATERIAL (8)	FINISH (10)		SET NO.	ELECTRICAL	
445	A	3'-0" x 7'-0"	EXISTING	(E)	(E)	(E)	NR	(E)		EXISTING
445a	B	9'-6" x 9'-0"	GLASS	CLEAR	AL	FF	NR	2		SEE ALTERNATES
446	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
447	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
448	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	3		MATCH EXISTING DOORS
449a	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
449	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
424	C	MATCH EXISTING	GLASS/AL	CLEAR	AL	FF	NR	4		MATCH EXISTING DOORS
425	C	MATCH EXISTING	GLASS/AL	CLEAR	AL	FF	NR	4		MATCH EXISTING DOORS

DOOR SCHEDULE LEGEND

1. TYPE: SEE ELEVATIONS FOR DOOR TYPES.
2. SIZE: ALL DOORS TO BE 1-3/4" THICK WITH 3/8 UNDERCUT U.O.N.
4. MATERIAL: WD = SOLID CORE WOOD DOOR
8. FRAME MATERIAL: AL = ALUMINUM TO MATCH EXISTING
10. FRAME FINISH: FF = FACTORY FINISH CLEAR TO MATCH EXISTING
11. NR = NONE REQUIRED.

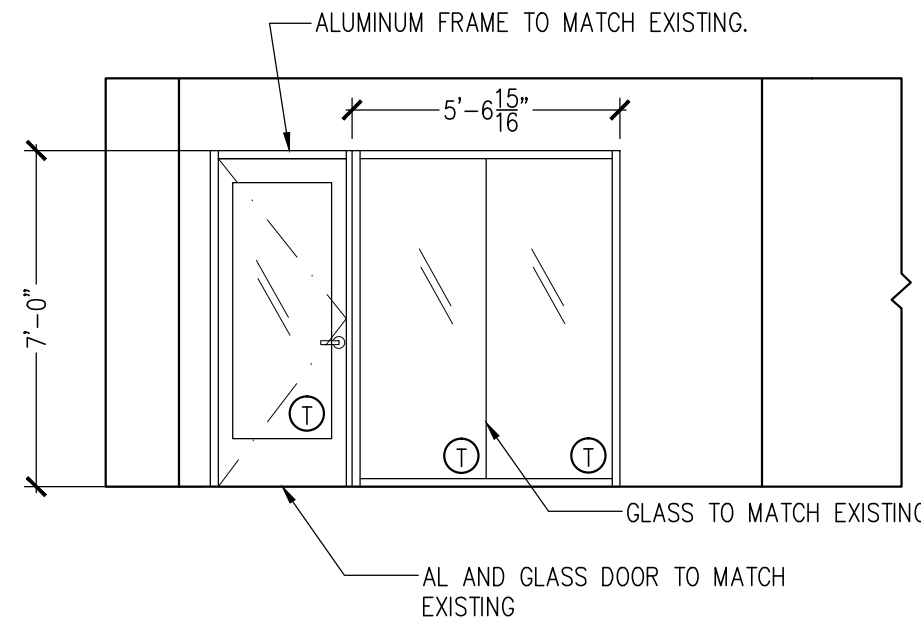
HARDWARE SETS

1. WOOD DOOR HARDWARE
LATCHSET
HINGES
DOOR STOP
CLASSROOM LOCKSET
2. SLIDING DOOR HARDWARE
KN CROWDER 1-CRT-103-SS x 228" 1DR KIT
CRT-100-SS TRACK x 228" IN 2 PIECES C/W VIRTUALLY SEAMLESS JOINT
C/W WALL MOUNT BRACKETS, 4 CRT-103-SS HANGERS, 2 CRT-110-SS STOPS, 2 CGGS-0 038
LADDER PULL
3. ACOUSTIC DOOR HARDWARE
ZERO INTERNATIONAL SOUND TRAP 52 STC SEALING SYSTEM
119W DOOR SEAL
770AA HEAD AND JAM SEAL
Z950 HINGES
HIDDEN DROP SEAL
THRESHOLD
CLASSROOM LOCKSET
4. AL DOOR
LATCH SET
HINGES
DOORSTOP
PASSAGE LOCKSET



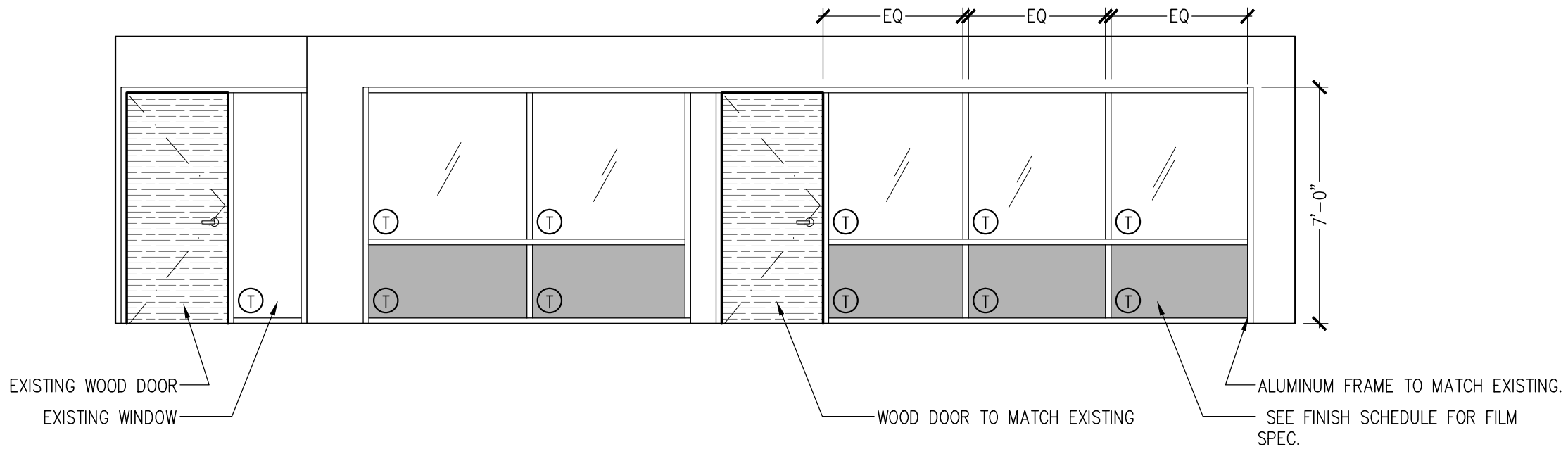
INTERIOR STOREFRONT ELEVATION RM 424

Scale: 1/4" = 1'- 0"



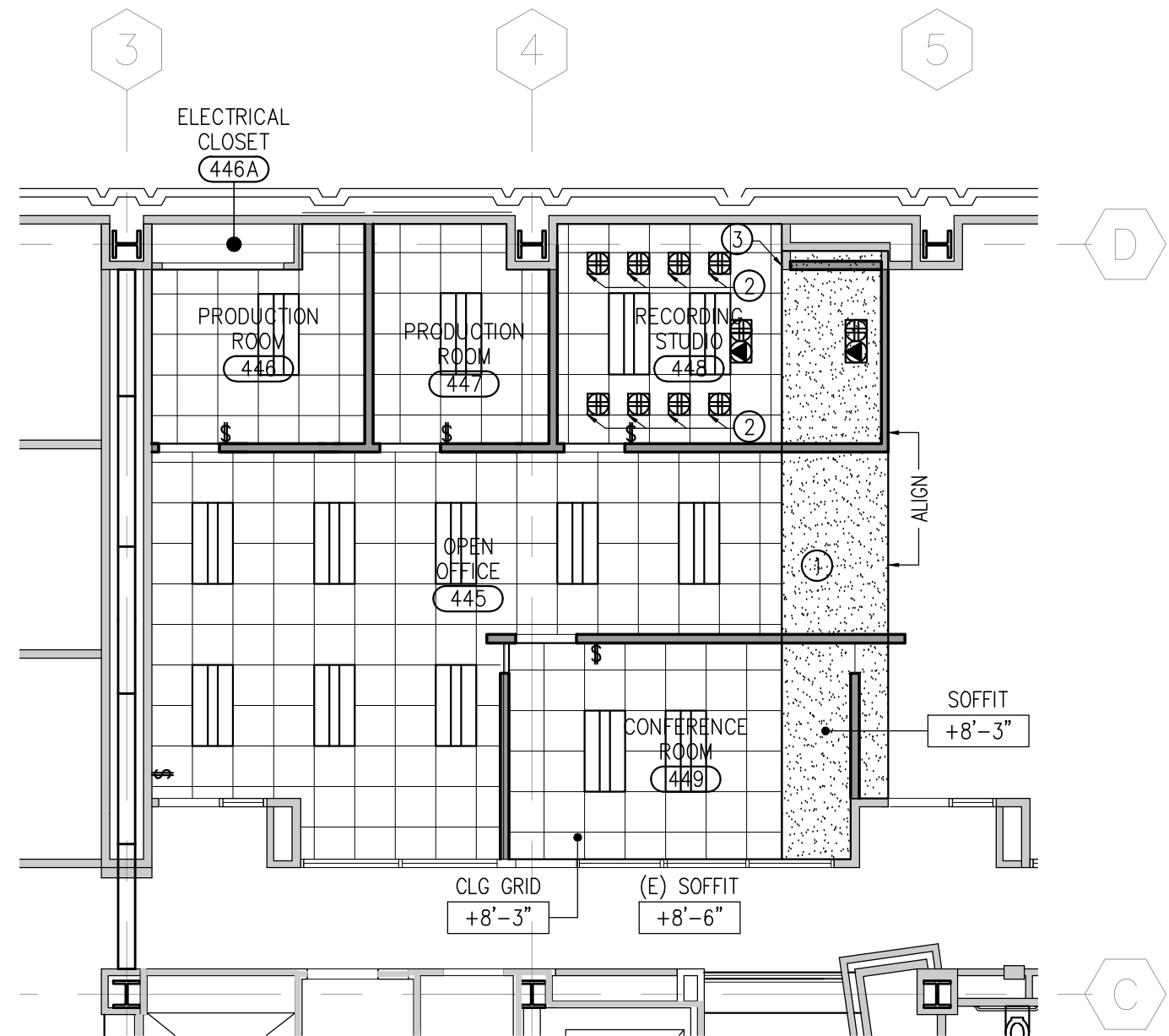
INTERIOR STOREFRONT ELEVATION RM 425

Scale: 1/4" = 1'- 0"



INTERIOR STOREFRONT ELEVATION RM 449

Scale: 1/4" = 1'- 0"



REFLECTED CEILING PLAN

Scale: 1/8" = 1'- 0"

REFLECTED CEILING PLAN KEYNOTES

- ① GYPSUM BOARD SOFFIT BELOW EXISTING FOLDED WALL PARTITION, SEE 5/A6.0.
② 4 QUADS ON 1 DEDICATED CIRCUIT.
③ ALIGN EDGE OF NEW SOFFIT WITH EXISTING WALL.

GENERAL NOTES

1. REUSE EXISTING LIGHTS AND CEILING TILES WHERE POSSIBLE. RETURN UNUSED ITEMS TO OWNER.
2. LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED.
3. PROVIDE BACKING AS REQUIRED.
4. NEW WALLS TO BE TYPE 1 U.O.N.
5. PAINT WALLS FLAT WHITE TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.
6. SEE SHEET A7.0 FOR WALL PARTITION TYPES.
7. ALL CEILING HEIGHTS TO BE 8'-6" U.O.N.
8. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.
9. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND HAVE MOTION SENSORS.

LEGEND

- EXISTING INTERIOR & EXTERIOR WALL
NEW FULL HEIGHT INTERIOR WALL
WALL TO BE REMOVED
DATA PORT
SURFACE-MOUNTED QUAD OUTLET
CEILING SURFACE-MOUNTED POWER AND DATA
ARMSTRONG CEILING SYSTEM
24"x 24" SQUARE TEGULAR TILES
2'X4' LIGHT COOPER LIGHTING
130513-24EN-2X4-LED WITH DIMMING CONTROLS.
TEMPERED GLASS

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200 McAllister Street
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Rev.	Issue	Date
BID SET		11.05.14

Seal:

Scale: **AS NOTED**

Drawing Description:

**4th FLOOR CEILING
AND DOOR SCHEDULE**

Date:

Drawn By: --

Checked By: --

Sheet Number:

A2.4

Architects:

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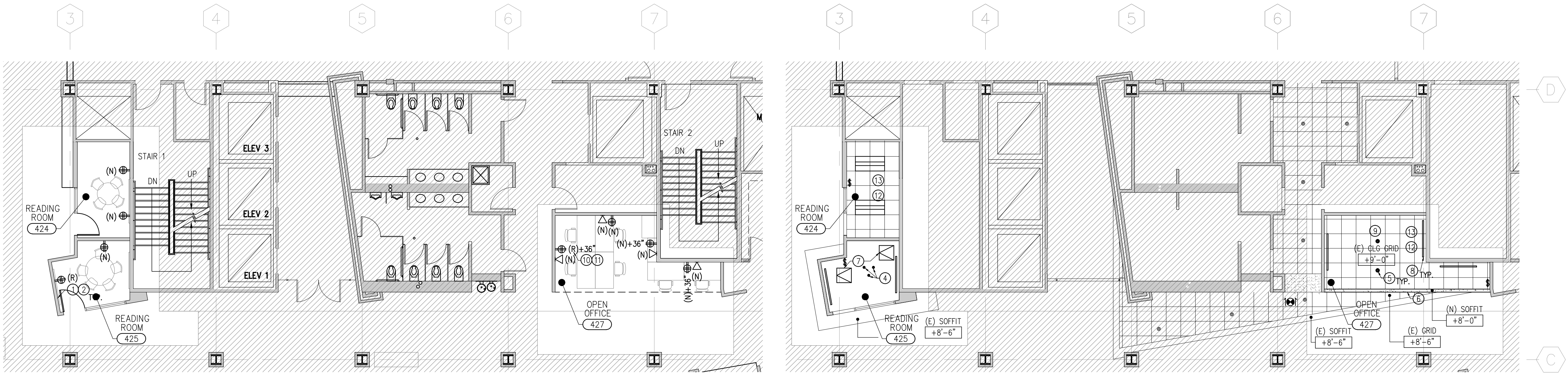
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San Francisco, CA



POWER SIGNAL PLAN

Scale: 1/8" = 1'- 0"

REFLECTED CEILING PLAN

Scale: 1/8" = 1'- 0"

PLAN KEYNOTES		GENERAL NOTES	LEGEND	
1. REMOVE EXISTING DATA PORTS AND PATCH WALLS, TYP.	11. CONVERT DUPLEX TO QUAD.	1. PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED.		EXISTING INTERIOR & EXTERIOR WALL
2. RELOCATE EXISTING POWER TO 18" AFF.	12. EXISTING HVAC AND REGISTERS TO REMAIN.	2. REMOVE AND SAVE EXISTING LIGHTS, CEILING TILES, REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER.		NEW FULL HEIGHT INTERIOR WALL
3. RELOCATED DOWNLIGHT.	13. RECONFIGURE EXISTING HVAC AND REGISTERS IN NEW CEILING. DISTRIBUTE UNIFORMLY.	3. LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED.		WALL TO BE REMOVED
4. NEW DOWNLIGHT TO MATCH EXISTING IN ADJACENT ACT SOFFIT.		4. PROVIDE BACKING AS REQUIRED.		DATA PORT
5. NEW GYPSUM BOARD SOFFIT. PAINT P-3, SEE FINISH SCHEDULE 4/A1.5.		5. NEW WALLS TO BE TYPE A U.O.N.		QUAD OUTLET
6. EXISTING ACCESS PANEL TO REMAIN.		6. PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.		DUPLEX OUTLET
7. NEW 62" ARTIMIDE 2 SQUARE SUSPENSION SYSTEM INDIRECT FLOURESCNET LIGHT. LOCATE 4" FROM ADJACENT WALL AND 8' AFF TO BOTTOM OF FIXTURE.		7. SEE SHEET A6.0 AND A7.0 FOR CEILING DETAILS.		ARMSTRONG CEILING SYSTEM
8. EXISTING CEILING GRID TO REMAIN. REPLACE TILES WHERE NECESSARY.		8. SEE SHEET A7.0 FOR WALL PARTITION TYPES.		2'X4' LIGHT COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS
9. RELOCATE EXISTING POWER TO 40" AFF.		9. PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED.		
		10. PARTITIONS DIMENSIONED TO FINISH FACE U.O.N.		
		11. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND MOTION SENSORS.		
		12. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.		

Scale: **AS NOTED**

Drawing Description:
**4th FLOOR STUDY ROOMS
IN 200 McALLISTER**

Date:
Drawn By: -- Checked By: --
Sheet Number:

