ABBREVIATIONS

© Ø #	AT DIAMETER NUMBER	LAM. LBS. LEV. LOC.	LAMINATED POUNDS LEVEL
A.C.T. A.D. ADJ. A.F.F. AL. A.T.C. BD. BETW. BLKG. BM. B.O. BOT. BRG. BTWN.	ACOUSTIC CEILING TILE AREA DRAIN ADJACENT, ADJUSTABLE ABOVE FINISHED FLOOR ALUMINUM ACOUSTIC TILE CEILING BOARD BETWEEN BLOCKING BEAM BOTTOM OF BOTTOM BEARING BETWEEN BEARING BETWEEN	MAX. M.D.F. MECH. MEMB. MEZZ. MFR. MIN. MISC. M.O. MOD. M.S. MTD.	MAXIMUM MEDIUM DENSITY FIBERBOARD MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MODULE MACHINE SCREW MOUNTED METAL
CAB. CER. C.J. Q	CABINET CERAMIC CONTROL JOINT CENTER LINE	(N) N.I.C. NO. NOM. N.T.S.	NEW NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
CL. CLG. CLR. C.M.U. COL. CONC. CONS. CONT. COOR. C.R. C.T.	CLOSET CEILING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONSTRUCTION CONTINUOUS COORDINATE COLD ROLLED CERAMIC TILE	O.A.D. O.C. O.D. OPNG. OPP. O.F.C.I. O.F.O.I. O.F.V.I. O.H.	OVERALL DIMENSION ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE OWNER FURNISHED/ CONTRACTOR INSTALLED OWNER FURNISHED/ OWNER INSTALLED OWNER FURNISHED/ VENDOR INSTALLED OVAL HEAD OVERHEAD
CTSK. DBL. DCA. DET. D.F. DIA. DIM. DIR. DISP. DN. DR. DTL.	COUNTERSINK DOUBLE DRILLED CONCRETE ANCHOR DETAIL DRINKING FOUNTAIN DIAMETER DIMENSION DIRECTORY DISPENSER DOWN DOOR DETAIL	P. LAM. P. PARA PERP. PL. PLY. PLYWD. PT. PTD. PTN.	PLASTIC LAMINATE PROPERTY LINE PARALLEL PERPENDICULAR PLATE PLYWOOD PLYWOOD PAINT PAINTED PARTITION QUARRY TILE
DWG. (E) EA. E.J. EL. ELEC. EQ. EQUIP. E.W.C. EXIST. EXP. EXP. EXT.	DRAWING EXISTING EACH EXPANSION JOINT ELEVATION ELECTRICAL EQUAL EQUIPMENT ELECTRIC WATER COOLER EXISTING EXPANSION EXPANSION JOINT EXTERIOR	QTY. R. RAD. R.D. RE: REQD. RES. RESIL. R.H. RM. R.O.	RADIUS RADIUS ROOF DRAIN REFER TO REQUIRED RESILIENT RESILIENT ROUND HEAD ROOM ROUGH OPENING SOLID CORE
F.D. F.E. F.E.C. F.H. F.H.C. FIN. FLR. FLUOR. F.O. F.O.S. F.O.S. F.O.W. F.S. FURR. FUT.	FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FLAT HEAD FIRE HOSE CABINET FINISH FLOOR FLUORESCENT FACE OF FACE OF STUD FACE OF WALL FULL SIZE FURRING FUTURE	SCHED. SECT. S.E.D. S.F. SHT. SIM. S.M.D. S.M.S. S.P.D. S.S. S.S.D. STD. STL. STRUCT. SUSP.	SCHEDULE SECTION SEE ELECTRICAL DRAWINGS SQUARE FOOT SHEET SIMILAR SEE MECHANICAL DRAWINGS SHEET METAL SCREW SEE PLUMBING DRAWINGS STAINLESS STEEL SEE STRUCTURAL DRAWINGS STANDARD STEEL STRUCTURAL SUSPENDED
GA. GALV. G.B. G.D. G.W.B. GYP. BD.	GAUGE GALVANIZED GRAB BAR GARBAGE DISPOSAL GYSUM WALLBOARD GYSUM WALLBOARD	TEMP. THK. T.O. T.O.C. T.O.S. TYP.	TEMPERED GLASS THICK TOP OF TOP OF CONCRETE TOP OF STEEL TYPICAL
H.B. H.C. HDWD. H.M. HORZ. HR. H.R. HT.	HOSE BIBB HOLLOW CORE HARDWOOD HOLLOW METAL HORIZONTAL HOUR HOT ROLLED HEIGHT	U.L. U.O.N. V.C.T. VEN. VER. VEST. VERT. V.I.F. V.W.C.	UNDERWRITERS LABORATORIES INC. UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE VENEER VERIFY VESTIBULE VERIFY IN FIELD
I.D. I.F. INS. INT. INTER. JAN. JST. JT.	INSIDE DIAMETER INSIDE FACE INSULATION INTERIOR INTERMEDIATE JANITOR JOIST JOINT	W.V.W.C. W.C. W.C. WD. W.P. W.R.	WITH WATER CLOSET WALL COVERING WOOD WATERPROOF WATER RESISTANT

SYMBOLS LEGEND

	NORTH INDICATOR	X'-X"	INDICATES LEVEL LINE, CONTROL POINT, OR DATUM		DETAIL DRAWING		REVISION
			MATCH LINE		REFERENCE SYMBOL:		DESIGNATION; MOST CURRENT REVISION
\overline{X}	COLUMN REFERENCE GRID		ALIGN FACE OF FINISH WITH ADJACENT FACE OF FINISH	XXXX	DETAIL NUMBER TO BE REFERENCED SHEET NUMBER TO BE		SHOWN CLOUDED ON DRAWING; RE: REVISION LIST IN
\overline{X}			LIMIT OF DEMOLITION / NEW CONSTRUCTION		REFERENCED		TITLE BLOCK
			CENTERLINE		LARGE SCALE PLAN OR ENLARGED SECTIONAL		
- ×	KEY NOTE DESIGNATION; RE: KEY NOTE LEGEND	XXX X'-X"	CLG. HT. AT DESIGNATED LOCATION;		DETAIL:	XXX	ROOM NAME
	INC. NET NOTE LEGEND	<u> </u>	TYPICAL CLG. HT. IS 8'-0" U.O.N.		DETAIL NUMBER TO BE REFERENCED	XXX	ROOM NUMBER
N X	DRAWING REFERENCE; ARROW INDICATES	OF H	DOOR DESIGNATION MARK - SEE DOOR SCHEDULE	AAAA	SHEET NUMBER TO BE	****	SQUARE FOOTAGE
"AXXX	BIRECTION OF VIEW SHEET NUMBER	⟨xx⟩	WINDOW OR LOUVER DESIGNATION MARK SEE WINDOW SCHEDULE		REFERENCED		

UC HASTINGS COLLEGE OF LAW INTERIOR IMPROVEMENTS

198 & 200 MCALLISTER STREET SAN FRANCISCO, CA 94102

PLANNING CODE

PROJECT DESCRIPTION:

INTERIOR IMPROVEMENT OF 198 Mcallister basement office with New Wall Construction, Ceiling, and Lights. Reconfiguration of existing mechanical system to New Ceiling Grid.

INTERIOR IMPROVEMENT OF 200 Mcallister 4th Floor Conversion of Computer Lab to 3 offices, Open Work Area, and Conference Room. New Ceilings, Power, Data, Av. Relocate Sprinklers, Lights, and Hvac as Required. Conversion of 2 storage Rooms into Conference Room and Open Work Area

PHASE 2:
INTERIOR IMPROVEMENT OF 198 McALLISTER BASEMENT OFFICE B27 & LOCKER ROOM B25 INTO ONE STORAGE SPACE FOR HIGH DENSITY SHELVING. NEW CEILING AND FLOOR AS REQUIRED. TO BE STARTED WHEN PHASE I IS COMPLETE.

PROPERTY LOCATION:

198 McALLISTER STREET
SAN FRANCISCO, CA 94102

900 McALLISTER STREET
SAN FRANCISCO, CA 94102

94102

910 McALLISTER STREET
SAN FRANCISCO, CA 94102

INTENDED USE:

OFFICE
(NO CHANGE)

TYPE OF CONSTRUCTION:

TYPE I-B

FIRE SPRINKLERS:

FULLY SPRINKLERED

OFFICE
(NO CHANGE)

TYPE I-B

FULLY SPRINKLERED

BUILDING STORIES: 4

RENOVATED AREA: TOTAL BASEMENT 3380 SQ FT TOTAL 4th FLOOR 1463 SQ FT

BUILDING INCREASES: NONE NONE

TOTAL RENOVATED AREA: 4,843 SQ FT

ALL WORK SHALL COMPLY WITH:

1. CODE CLASSIFICATION:

2013 CALIFORNIA BUILDING CODES TITLE—24
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA HISTORICAL BUILDING CODE
2013 CALIFORNIA ADMINISTRATIVE CODE

2013 CALIFORNIA ADMINISTRATIVE CODE

2013 CALIFORNIA GREEN BUILDING CODE, APPENDIX A5 — NONRESIDENTIAL MEASURES

SHEET INDEX

ARCHITECTURAL DRAWINGS

GO.0 COVER SHEET A1.0 GENERAL NOTES

SHEET # SHEET NAME

A1.1 BASEMENT PLAN AND REFLECTED CEILING PLAN IN 198 MCALLISTER
A1.2 HIGH DENSITY STORAGE PLANS IN 198 MCALLISTER

A1.4 4th FLOOR PLANS IN 200 MCALLISTER
A1.5 4TH FLOOR STUDY ROOMS IN 200 MCALLISTER
A2.4 4th FLOOR CEILING AND DOOR SCHEDULE

A2.5 4TH FLOOR CEILING & POWER PLAN A6.0 CEILING DETAILS

A7.0 DETAILS

SITE LOCATION MAP

PROJECT LOCATION —

200 McALLISTER 198 McALLISTER

MKTHINK

Architects:

mkthink.com

MKTHINK

Roundhouse One, 1500 Sansome Street San Francisco, CA 94111 p 415 402 0888 f 415 288 3383

All drawings and written material contained herein constitute original and unpublished work of the architect and may not be duplicated, used or

is for design purposes only. Do not scale off drawings.

Project:

Media Services Relocation 200 McAllister Street San Francisco, CA

Project Number: 491-142



Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

BID SET	11.05.14

Seal:

Scale: N/A

Drawing Description:

COVER SHEET

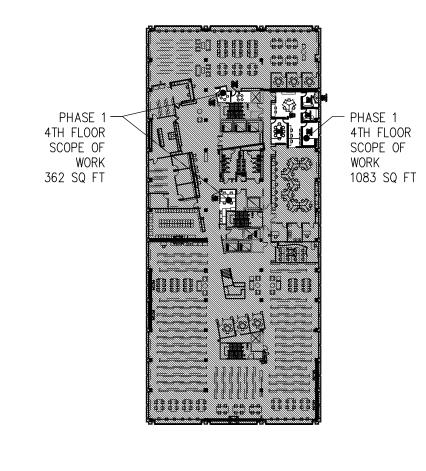
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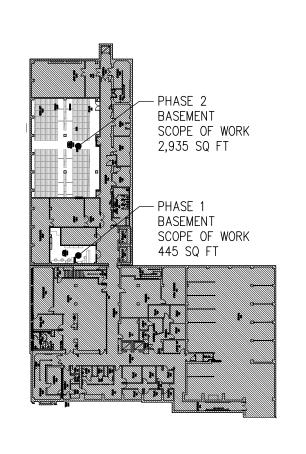
Drawn By: -- Checked By:

Sheet Number:

GO.0

SCOPE OF WORK DIAGRAM





200 McALLISTER 198 McALLISTER

- 2 THE WORK SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES.
- CONTRACTOR SHALL APPLY FOR, OBTAIN & PAY FOR ALL LICENSES & INSPECTIONS AS REQUIRED TO COMPLY WITH ALL STATE, CITY, LOCAL CODES & LAWS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR, IN CONFERENCE WITH THE BUILDING MANAGER SHALL PREPARE A LIST OF HIS ACTIVITIES THAT WILL NOT, IN ANY WAY EFFECT THE NORMAL OPERATIONS OF THE 18 ALL CONCEALED BLOCKING TO BE FIRE-TREATED WOOD BUILDING & NEIGHBORING TENANTS. PROTECTIVE MEASURES & SCHEDULING SHALL BE ESTABLISHED TO MINIMIZE DISRUPTION & PROTECT PROPERTY NOT RELATED TO THIS PROJECT. PROVIDE THE ARCHITECT WITH A COPY OF THE SCHEDULE & DESCRIPTION OF PROTECTION.

OR SHEETMETAL.

INSTALLATIONS.

MANAGER AND TENANT.

19 IN CASE OF CONFLICT BETWEEN ARCHITECTS AND

MATERIALS/EQUIPMENT, THE ARCHITECTURAL DRAWINGS

SHALL GOVERN AND THE GENERAL CONTRACTOR SHALL

NOTIFY ARCHITECT REGARDING THESE DISCREPANCIES.

20 CONTRACTOR SHALL COORDINATE WITH TENANT/OWNER

THE SCHEDULE FOR ALL TELEPHONE COMPANY

21 ALL WORK SHALL BE PERFORMED DURING REGULAR

BUSINESS HOURS WHENEVER POSSIBLE. WORK

INVOLVING EXCESSIVE NOISE OR DUST, OR WHICH

WOULD OTHERWISE INTERFERE WITH THE NORMAL

OPERATION OF BUSINESS FOR TENANTS SHALL BE

HOURS BASIS TO BE COORDINATED WITH THE BUILDING

CONSTRUCTION AS BEING NECESSARY TO BE REMOVED

DONE ON AN OVERTIME. NON-REGULAR BUSINESS

OF ALL UTILITIES DETERMINED IN THE COURSE OF

CONTRACTOR SHALL REMOVE SUCH UTILITIES ONLY

CONSTRUCTION DOCUMENTS OR DETERMINED LATER IN

FIELD. DISCONNECT, CUT BACK TO SOURCE, AND CAP

PENETRATIONS CREATED BY REMOVAL OF UTILITES TO

23 "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH

LIFE SAFETY DEVICE, HVAC RISER, ETC, BUILDING

, PRIOR TO DISCONNECTION OF ANY ELECTRICAL RISER,

REPRESENTATIVE IS TO BE NOTIFIED. CONTRACTOR TO

SUBMIT A WRITTEN REQUEST FOR EACH SHUT DOWN.

APPROVAL OF SUCH REQUESTS. CONTRACTOR IS TO

ADHERE TO APPROVED SCOPE OF WORK & SCHEDULE

"TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITION

THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE

USUALLY KEYED AND NOTED "TYP" ONLY ONCE, WHEN

THEY FIRST OCCUR. "SIMILAR" MEANS COMPARABLE

VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND

WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE

COORDINATE WITH TENANT AND BUILDING MANAGER TO

THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE

27 DURATION OF THE WORK ALL EXITS, EXIT LIGHTING,

CONFORMANCE WITH ALL APPLICABLE CODES AND

ORDINANCES. PROVIDE TEMPORARY SUPPORT IF

APPLIES TO THIS WORK) SHALL BE PROTECTED FROM

ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK.

ALL MANUFACTURED ARTICLES, MATERIALS AND

ERECTED, CLEANED AND CONDITIONED PER

MANUFACTURER'S INSTRUCTIONS. IN CASE OF

DIFFERENCES BETWEEN THE MANUFACTURER'S

CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN

ALL WORK NOTED "BY OTHERS" OR "NIC" SHALL BE

CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR

SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE

30 PROVIDED BY OWNER/TENANT OR UNDER SEPARATE

THIS "OTHER" WORK IN CONSTRUCTION PROGRESS

EXAMINATION OF THE SITE AND PORTIONS THEREOF

WITH THE DRAWINGS AND SATISFY HIMSELF AS TO

HE SHALL AT SUCH TIME ASCERTAIN AND CHECK

LOCATIONS OF THE EXISTING STRUCTURES AND

EQUIPMENT WHICH MAY AFFECT HIS WORK. NO

EXAMINATION.

THE GENERAL CONTRACTOR, WHO SHALL COMPARE IT

CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED

ADDITIONAL ALLOWANCES SHALL BE MADE AFTER THE

CONTRACT IS SIGNED FOR ANY EXTRA EXPENSES DUE

TO FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH

31 WHICH WILL EFFECT THIS WORK SHALL BE MADE BY

ORDERLY SEQUENCE OF INSTALLATION.

INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE

THE SCOPE OF WORK AND ADJACENT AREAS

RESPONSIBILITY OF THE CONTRACTOR.

WRITING, BEFORE PROCEEDING.

FIRE PROTECTIVE DEVICES AND ALARMS IN

CHARACTERISTICS FOR THE CONDITIONS NOTED.

25A WORK WITHIN "BUILDING CORE AREAS" SHALL BE NIC

25 IS REPRESENTATIVE FOR SIMILAR (OR SIM.) CONDITIONS

ADEQUATE TIME IS TO BE GIVEN FOR REVIEW AND

DURING EACH APPROVED SHUT DOWN.

UNLESS OTHERWISE NOTED

ENSURE SECURITY.

NECESSARY.

AFTER CONSULTATION WITH ARCHITECT, OWNER &

WHICH HAVE NOT OTHERWISE BEEN NOTED FOR

REMOVAL IN THE CONSTRUCTION DOCUMENTS.

TENANT. WHETHER PREDETERMINED IN THE

ALL UTILITY SERVICES REMOVED. SEAL ALL

FACES IN THE SAME PLANE.

MATCH ADJACENT CONSTRUCTION AND FINISH.

ENGINEERS DRAWINGS IN LOCATING

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS & DIMENSIONS FOR ACCURACY & CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS THE CONTRACTOR IS RESPONSIBLE FOR INFORMING THE ARCHITECT IN WRITING & OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK. REQUESTS FOR ADDITIONAL CHARGES WILL NOT BE ENTERTAINED FOR THE CONTRACTOR'S FAILURE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.
- REFERENCES TO MAKES, BRANDS, AND MODELS IS TO $_{22}$ CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY ESTABLISH TYPE AND QUALITY DESIRED. SUBSTITUTIONS OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED IN WRITING BY THE ARCHITECT.
- THE DESIGN CONCEPT OF THIS PROJECT IS BASED ON THE COLOR, DESIGN & TEXTURE OF FINISHED PRODUCTS SPECIFIED. IF THE CONTRACTOR FAILS TO ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATION THE ARCHITECT WILL NOT ENTERTAIN ANY REQUEST FOR MATERIAL SUBSTITUTION. INSTEAD, THE CONTRACTOR SHALL PROVIDE & INSTALL TEMPORARY FINISHES OR MATERIALS SATISFACTORY TO THE ARCHITECT & PROVIDE & INSTALL THE SPECIFIED FINISHES OR MATERIALS UPON THEIR ARRIVAL, MONIES WILL BE WITHHELD PENDING SATISFACTORY INSTALLATION OF SPECIFIED FINISHES & MATERIALS.
- THE CONTRACTOR SHALL CONFIRM ALL LEAD TIMES FOR FINISH MATERIALS AT TIME OF BIDDING TO ASSURE AVAILABILITY OF MATERIALS FOR THE PROJECT, AS SCHEDULE REQUIRES. ANY COST FOR SPECIAL HANDLING OR AIR FREIGHT OF MATERIALS IN ORDER TO MEET REQUIRED DEADLINES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CLEAR DIMENSIONS SHALL BE EXACT WITHIN 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.
- THE CONTRACTOR SHALL PROMPTLY REPORT TO THE ARCHITECT DISCREPANCIES FOUND BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE DRAWINGS SO THAT CLARIFICATIONS MAY BE ISSUED.
- THE CONTRACTOR SHALL PREPARE ALL EXISTING SURFACES AS REQUIRED TO RECEIVE SPECIFIED FINISH. 12 SHOP DRAWINGS & SUBMITTAL MUST BE PROVIDED 26 DURING CONSTRUCTION. CONTRACTOR SHALL FOR ARCHITECT'S APPROVAL BEFORE BEGINNING ANY MILLWORK FABRICATION AND PRIOR TO ORDERING ALL MATERIALS.
- 13 THE CONTRACTOR SHALL PATCH OR OTHERWISE FURNISH AND INSTALL MATERIALS REQUIRED TO MATCH EXISTING CONDITIONS AS NOTED & AS A RESULT OF THE WORK. ANY CONDITIONS REQUIRING DETAILING SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NEW GYPSUM BOARD CONSTRUCTION MEETING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH, WITH NO VISIBLE JOINTS SHOWING.
- 14 GENERAL CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY OF ELEVATORS AND/OR LOADING DOCKS FOR THE PURPOSES OF DELIVERY AND ALSO AS TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS, TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATION. ALL WORK SCHEDULING SHALL BE SUBMITTED TO BUILDING MANAGER AND TENANT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF
- 15 ALL HEIGHTS ARE DIMENSIONED FROM TOP OF FINISH FLOOR (A.F.F.), UNLESS OTHERWISE NOTED.
- 16 SIEMENS FIRE LIFE SAFETY DEVICES AND CONNECTIONS TO BE USED.

- PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE CONSTRUCTION DRAWINGS. ARRANGEMENTS TO VISIT THE PREMISES SHOULD BE MADE WITH THE BUILDING MANAGEMENT.
 - 33 CONTRACTOR SHALL PROTECT THE AREA, NEW AND/OR 2 UNLESS OTHERWISE NOTED PROVIDE MINIMUM 3-COAT EXISTING MATERIALS AND ALL FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC. AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND/OR EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE TENANT AT THE EXPENSE OF THE GENERAL CONTRACTOR.
 - 34 ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED 5 TRANSPARENT FINISHED WOOD DOORS, ARCHITECTURAL IN ADEQUATE TIME TO ALLOW FOR REVIEW AND APPROVAL BY THE ARCHITECT AND FOR THE POSSIBILITY OF HAVING THE SUBSTITUTION REJECTED AND THUS NEEDING TO PROVIDE THE ORIGINAL
 - 35 ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL CONFORM TO ALL GOVERNING BUILDING CODES AND REGULATIONS ALL FINISH MATERIALS MUST MEET ALL APPLICABLE FIRE, LIFE SAFETY AND BUILDING CODES.
 - 36 ALL WORK LISTED, SHOWN OR IMPLIED, ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND 9 ALL SURFACES SHALL BE IN PROPER CONDITION TO INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS. SUBCONTRACTORS AND/OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
 - 37 THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (2 SET OF PRINTS) FOR FABRICATED ITEMS. CUTS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION/PURCHASING, ETC. PROVIDE ENOUGH CUT SHEETS AND/OR SAMPLES SO THAT THE ARCHITECT CAN RETAIN (2) FOR RECORD AND DISTRIBUTION. THIS APPLIES TO ALL ABOVE STANDARD ELEMENTS ONLY.
 - THE GENERAL CONTRACTOR SHALL MAINTAIN A 39 CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOBSITE DURING ALL PHASES OF 14 CONTRACTOR SHALL SUPPLY 5% OVER ENTIRE SQUARE CONSTRUCTION FOR THE USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS. THE GC IS TO PROVIDE A SET OF AS-BUILT DOCUMENTS TO THE TENANT AND 15 ALL NEW AND EXISTING FINISHES SCHEDULED TO REMAIN
 - THE GENERAL CONTRACTOR SHALL REMOVE ALL 40 RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING THE WORK OR COMMON AREAS OF JOBSITE, THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE.
 - UPON COMPLETING THE JOB, THE CONTRACTOR SHALL 41 LEAVE THE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOVE-IN. THIS IS TO INCLUDE CLEANING OF ALL GLASS (INCLUDING INSIDE OF EXTERIOR GLASS) AND FRAMES, BOTH NEW AND EXISTING.
- 42 BE MADE THROUGH THE ARCHITECT AND CONFIRMED IN 28 (INCLUDING "PATH OF ACCESS" AND LOBBY WHERE IT
- ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL 43 BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

32 CONTRACTOR SHALL THOROUGHLY EXAMINE THE

FINISH NOTES:

FINISH PAINT.

TO LAYOUT, U.O.N.

PLACING ORDER.

REQUIRED.

SCHEDULE.

ATTENTION IMMEDIATELY.

ACCEPTANCE OF SUBSTRATE.

U.O.N. PAINT SYSTEM: ONE COAT PRIMER 2 COATS

REMAIN AS REQUIRED FOR APPLICATION OF NEW

7 WHERE MORE THAN ONE (1) SHEET VINYL COLOR HAS

ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO

METAL SHALL BE HAND SAND PAPERED AND DUSTED

CLEAN. ALL KNOT HOLES, PITCH POCKETS OR SAPPY

BE CAREFULLY PUTTIED AFTER FIRST COAT WITH PUTTY

MATCHING COLOR OF STAIN OR PAINT FINISH. REMOVE

ANY OIL OR GREASE WITH MINERAL SPIRITS.

10 INTERIOR GYPSUM WALLBOARD SURFACES SHALL BE

WHICH MAY HAVE FORMED IN SANDING PROCESS.

1 ELECTRICAL SWITCH AND OUTLET COVER PLATES,

12 THE CONTRACTOR SHALL, UPON COMPLETION, REMOVE

SPLATTERED ON EXPOSED ADJACENT SURFACES.

TENANT FOR FUTURE PATCHING STOCK.

SHALL BE PROTECTED DURING CONSTRUCTION. ANY

STRUCTURAL STEEL COLUMNS, BRACING AND SEISMIC

WILL BE MADE WITHIN SIX WEEKS OF THE SCHEDULED

ANY PROBLEMS REGARDING AVAILABILITY OF FINISH

INSTALLATION & CARPET) AND PROCEED WITH

MATERIALS ARE TO BE BROUGHT TO THE ARCHITECT'S

FITTINGS, ETC. SHALL RECEIVE ONE COAT METAL

AT HIS COST WITH NO COST TO OWNER AND/OR

16 ALL METAL SURFACES SUCH AS ACCESS DOORS

8 CARPET SEAMING DIAGRAM TO BE SUBMITTED TO

BEEN PROVIDED FOR FLOORING, CONTRACTOR TO REFER

- 3 ALL WALL PAINT SHALL BE LATEX, EGGSHELL FINISH,
- SPECIFIED ITEM. ITEMS SHALL NOT BE PURCHASED OR FREE OF SEALERS, CURING COMPOUNDS, OIL, DIRT AND INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE

- THE GENERAL CONTRACTOR SHALL BE REQUIRED TO 38 SUBMIT ALL SMOKE DENSITY AND FLAME SPREAD U.L. APPROVED (OR EQUIVALENT AS ACCEPTED BY THE BUILDING DEPARTMENT). LABEL CERTIFICATES TO THE 13 PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH 13 BUILDING DEPARTMENT WHEN AND WHERE REQUESTED BY THE BUILDING DEPARTMENT.
- THE BUILDING IN ANY FINISHED AREAS IN OR OUTSIDE
- RESOLUTION OF ALL QUESTIONS OR VARIANCES MUST WRITTEN FORM.
- REPETITIVE FEATURES NOT NOTED ON DRAWING SHALL
- PUNCH LIST REVIEW IMMEDIATELY PRIOR TO 44 MOVE-IN, CONTRACTOR WILL SUBMIT HIS PUNCH LIST 29 EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, (PER AIA CONTRACT A201, SECTION 9.8.2) TO TENANT ARCHITECT AND BUILDING REPRESENTATIVE FOR A WALK THROUGH AT THE SITE.

- ENSURE THAT SURFACES THAT ARE TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. TAKE PRECEDENCE FOR LOCATION. STARTING OF WORK SHALL INDICATE INSTALLER'S
- THE OUTLET OR CLUSTER OF OUTLETS. UNLESS OTHERWISE NOTED; GANG COVER PLATES SHALL BE ONE- PIECE TYPE, U.O.N. PAINT SYSTEMS AS SPECIFIED FOR EACH SUBSTRATE; REFER TO FINISH SCHEDULE FOR COLORS AND SHEENS.
 - SIDES OF PARTITION; MAINTAIN MINIMUM 3 INCH SEPARATION AND PACK OUTLETS WITH ACOUSTIC TREATMENT.
- 4 REPAIR AND PREPARE EXISTING SURFACES SHOWN TO 4 VERIFY ALL EQUIPMENT MOUNTING REQUIREMENTS OF
- BY ARCHITECT AND COORDINATED WITH BUILDING WOODWORK, AND CABINETRY SHALL BE SHOP FINISHED,

 - ALL APPLICABLE CODES. FOR PROPER SIZING AND CIRCUITING OF WORK.
 - 8 REMOVE ALL FLOOR MONUMENTS PRIOR TO CARPET INSTALLATION. REMOVE COVER PLATES FROM ALL ARE TO BE FLUSH WITH FLOOR SURFACE.
- RECEIVE THE SPECIFIED FINISH. PAINT GRADE WOOD. OR THE LETTER "D". THE HALF OF EACH FOURPLEX OUTLET THAT IS TO BE ON A DEDICATED CIRCUIT PORTIONS SHALL BE SCRAPED AND FITTED, OR SEALED WITH SEALER, NAIL HOLES, CRACKS OR DEFECTS SHALL SHALL BE IDENTIFIED BY A "D". ALL DEDICATED WITH PANEL AND BREAKER NUMBER.
- WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION ENSURE PROPER REQUIREMENTS ARE MET. OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAP
- OTHER ORDINANCES OF CITY, STATE AND FEDERAL SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER
 - 12 ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORIES.
- ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR REQUIRED BY CODE.
- MATERIALS SUBMIT SAMPLES TO ARCHITECT FOR REVIEW ELECTRICAL MECHANICAL & PLUMBING DESIGN/BUILD IN CONFORMANCE WITH SPECIFIED PROCEDURES. ALLOW SUBCONTRACTOR SHALL FURNISH AND INSTALL TIME FOR SUBMITTAL REVIEW AND FOR RESUBMITTALS IF SYSTEM. ALL MATERIALS SHALL BE NEW AND FREE
 - CONTRACTOR TO VERIFY SPECIAL CONSTRUCTION ON ONE HOUR FIRE RATED WALLS.
- DAMAGE SHALL BE REPAIRED BY CONTRACTOR INVOLVED 10 NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION 9 CONFLICTS WITH SUSPENDED GRID SYSTEM OR HVAC,
- ARE RESPONSIBLE FOR ALL INFORMATION ON ARCHITECTURAL DRAWINGS. MATCH ADJ. SURFACES OR AS SPECIFIED IN THE FINISH GENERAL CONTRACTOR IS TO COORDINATE ALL SUB 11 ARE FOR NEW DESIGN AND CONSTRUCTION ALL CEILING CONTRACTORS FOR COMMUNICATIONS\DATA TO VERIFY
- 17 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE AVAILABILITY AND DELIVERY DATES OF ALL FINISH BE IN STRICT ACCORDANCE WITH ALL BUILDING MATERIALS. NO SUBSTITUTIONS OF FINISH MATERIALS DEPARTMENT AND FIRE DEPARTMENT CODES AND ORDINANCES AS WELL AS TITLE 24 ENERGY COMPLETION DATE. ALL FINISH MATERIALS WILL BE ON REQUIREMENTS. SITE AT LEAST TWO WEEKS PRIOR TO INSTALLATION. 18
 - TELEPHONE, ELECTRICAL, ETC. U.O.N.
- 18 THE CONTRACTOR SHALL EXAMINE ALL FINISH SURFACES 20
- AFTER COMPLETION OF WORK (INCLUDING TELEPHONE
- 19 THE CONTRACTOR SHALL MODIFY EXISTING FLOOR SURFACES AS REQUIRED TO INSTALL NEW FLOORING MATERIALS THUS PREVENTING NOTICEABLE LUMPS, OR DEPRESSIONS WHICH MAY CAUSE UNUSUAL WEAR TO ANY FLOOR OUTLET ADJACENT TO A WALL, U.O.N.
- NEW MATERIALS. 20 PAINT ALL ACCESS PLATES & PANEL BOXES TO MATCH ADJACENT PAINTED SURFACES.
- 21 PROVIDE AN "H" CUT AT CARPET ALL OPEN POWER AND DATA FLOOR MONUMENTS.
- 22 ALL (E) AND/OR RELOCATED DOORS SHALL BE CLEANED ALL OUTLETS AT OR ABOVE COUNTERS WITHIN 6'-0" FREE OF ALL FOREIGN MATERIAL, SANDED AND REFINISHED TO RECEIVE BUILDING STANDARD FINISH. 25
- 23 THE CONTRACTOR SHALL SUBMIT 8-1/2" X 11" BRUSHOUTS AND/OR SAMPLES OF ALL FINISH TYPES 26 AND COLORS TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH INSTALLATION AND/OR APPLICATION.
- 24 ALL FINISH MATERIALS MUST MEET ALL APPLICABLE FIRE, LIFE SAFETY, AND BUILDING CODES.
- 25 CAULKS, SEALANTS, ADHESIVES, PAINTS, STAINS, AEROSOLS, AND CAOTINGS WILL BE COMPLIANT WITH LIMITS FOR VOC AND OTHER COMPOUNDS AS PER CALGREEN SECTION 5.504.4.
- 26 PROTECT CARPET AND REPLACE AS NEEDED.

POWER / DATA NOTES:

- 1 SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND INFORMATION. WHERE CONFLICTS OCCUR, ARCHITECTURAL DRAWINGS SHALL
- 2 INDICATED DIMENSIONS ARE TO THE CENTERLINE OF
- DO NOT MOUNT OUTLETS BACK-TO-BACK ON OPPOSITE
- ALL ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.
- 5 ALL CORING LOCATIONS SHALL BE REVIEWED IN FIELD MANAGER, FURNITURE DEALER AND TENANT PRIOR TO
- 6 THE FLOOR UNDER THE CARPETED AREAS MUST BE 6 COORDINATE INSTALLATION OF TELEPHONE AND SECURITY SYSTEMS UNLESS OTHERWISE NOTED.
 - ARCHITECTURAL DRAWINGS ARE SCHEMATIC IN NATURE. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COMPLYING WITH
 - PREVIOUSLY CAPPED OUTLETS. ALL CAPPED OUTLETS
 - ALL NEW DEDICATED OUTLETS SHALL BE IDENTIFIED BY OUTLETS TO BE COLORED ORANGE. INCLUDE OUTLET ID
 - 10 OBTAIN EQUIPMENT SPECIFICATIONS, INCLUDING POWER AND INSTALLATION REQUIREMENTS FROM TENANT TO
 - ALL ELECTRICAL WORK SHALL CONFORM TO CURRENTLY 11 ADOPTED U.B.C. WITH SAN MATEO AMENDMENTS AND

 - ALL FLOOR PENETRATIONS SHALL BE FIREPROOFED AS
- COMPLETE, ALL MATERIALS, EQUIPMENT AND LABOR, AS 7 SHOWN AND AS NECESSARY FOR COMPLETE WORKABLE FROM DEFECTS. FOOTAGE OF CARPET AND RESILIENT FLOORING TO 14
 - REQUIRING SPECIAL OUTLETS, SWITCHES OR MOUNTING
 - OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS, M.E.P. DRAWINGS AND FIELD CONDITIONS.
- PRIMER AND 2 COATS ALKYD BASED PAINT. COLOR TO 17 REQUIREMENTS AND TO SCHEDULE PULLING OF CABLES. ALL ELECTRICAL AND TELEPHONE INSTALLATION SHALL
 - EACH CONDUIT TO RECEIVE ONLY ONE TYPE OF CABLE;
 - LOCATE SWITCHES AT +44" A.F.F., U.O.N.
 - ALL OUTLETS TO BE MOUNTED 18" AFF, U.O.N. ALL WALL OUTLETS ARE TO BE MOUNTED VERTICALLY,
 - U.O.N. ANY ELECTRICAL WALL OUTLET HIGHER THAN 18" SHALL BE MOUNTED HORIZONTALLY-U.O.N. A MINIMUM OF 2" CLEAR MUST BE MAINTAINED FOR
 - ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE CONDUIT RUNS, CIRCUITING, AND WIRING
 - AS REQUIRED TO PROVIDE COMPLETE ELECTRICAL INSTALLATION. AS-BUILT RECORDS OF CIRCUIT AND WIRING SHALL BE PREPARED AT THE COMPLETION OF THE PROJECT.
 - OF A SINK SHALL BE GFI TYPE.
 - ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY LIGHTING THROUGHOUT AREA OF WORK. ALL ELECTRICAL WIRING IN EXPOSED CEILING, WALL AND
 - OR CEILING LOCATIONS SHALL UTILIZE THIN WALL METAL CONDUIT (EMT) OR AS REQUIRED BY CODE. THE USE OF FLEXIBLE METAL CONDUIT RUNS IN EXPOSED CEILING AREAS SHALL BE POSITIONED AND SECURED SO AS TO BE AS INCONSPICUOUS AS POSSIBLE. DIAGONAL RUNS ACROSS THE UNDERSIDE OF THE CEILING FRAMING SHALL NOT BE PERMITTED. WHERE CONDUIT RUNS PERPENDICULAR TO JOISTS, RUNS SHALL BE LOCATED ADJACENT TO BEAMS WHERE CONDUIT RUNS PARALLEL TO JOISTS, RUNS SHOULD BE LOCATED AND MOUNTED TO THE SIDES OF THE JOISTS. PENETRATIONS THROUGH BLOCKING AT BEAM

LOCATIONS MAY BE PERMITTED SUBJECT TO NOTE 6

ABOVE.

- 29 TELEPHONE AND DATA CABLE TO BE CATEGORY 5 CABLE. ALL PORTS TO HAVE REDUNDANT WIRING U.O.N. TELEPHONE AND DATA CABLE TO BE
- 30 ALL OUTLETS, SWITCHES, AND COVERPLATES TO BE WHITE U.O.N.
- 31 ADD GE LIGHTING CONTROL INTERFACE. ALL LIGHTS TO 2 ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLS.
- 32 ALL ELECTRICAL AND TELEPHONE INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL BUILDING DEPARTMENT AND FIRE DEPARTMENT CODES AND ORDINANCES AS WELL AS TITLE 24 ENERGY REQUIREMENTS
- CEILING NOTES:

DISTINGUISHED BY COLOR.

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR DESIGN OF THESE SYSTEMS (DUCT SIZES, CIRCUITING, ETC.). HOWEVER, LOCATIONS OF FIXTURES, SWITCHES, ETC. SHALL BE AS 5 CONTRACTOR SHALL CHALK LOCATIONS OF PARTITIONS SHOWN ON ARCHITECTURAL PLANS AND ELEVATIONS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING CONSTRUCTION.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, DUCTS, STRUCTURAL ELEMENTS, AND OTHER 6 AT ACOUSTICAL PARTITIONS, STAGGER ALL JOINTS IN APPLICABLE ITEMS. ARRANGE AND MODIFY NON-VISIBLE ITEMS TO INSURE ADEQUATE CLEARANCES FOR CEILING LAYOUT AS SHOWN.
- 3 IN AREAS WITH ACOUSTICAL CEILING TILE, ALL REGISTERS AND LIGHTING FIXTURES SHALL OCCUR WITHIN GRID LINES AND SPRINKLER HEADS (WHERE APPLICABLE), INCANDESCENT FIXTURES, OR OTHER CEILING ELEMENTS SHALL BE LOCATED ON THE CENTERLINE OF ACOUSTICAL UNITS, U.O.N.
- 4 G.C. TO COORDINATE WITH BUILDING OWNER ANY ACCESS ISSUES WITH REGARDS TO BASE BUILDING HVAC, ELECTRICAL, PLUMBING, AND LIFE SAFETY THAT MUST REMAIN UNOBSTRUCTED AND/OR REASONABLY ACCESSIBLE FOLLOWING TENANT MOVE IN.
- CEILING FIXTURES ARE LOCATED IN ACCORDANCE WITH CEILING GRID SHOWN ON THE RCP. IF INSTALLED CEILING GRID DIFFERS FROM WHAT IS SHOWN ON THIS DRAWING, CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ARCHITECT THE FIXTURE LOCATIONS WITHIN THOSE SPACES. UNAPPROVED WORK IS SUBJECT TO REINSTALLATION WITHOUT ADDITIONAL COST TO THE PROJECT.
- QUANTITY AND APPROXIMATE LOCATIONS OF THERMOSTATS SHALL BE DETERMINED BY M.E.P. DESIGN BRACED AS REQUIRED BY CODE. SEE DETAILS. BUILD CONTRACTOR. LOCATIONS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.
- LIGHT SWITCHING SHALL CONFORM TO TITLE 24 REQUIREMENTS. DOUBLE SWITCH WITH EACH SWITCH CONTROLLING 50% OF LAMPS PER FIXTURE ALL ROOMS/AREAS OF GREATER THAN 100 SQ. FT.
- 8 NOT USED
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY PLUMBING, LIFE SAFETY, ETC. PRIOR TO INSTALLATION. 12 ALL WORK SHALL BE INSTALLED AS SHOWN ON
- ELECTRICAL MECHANICAL AND PLUMBING CONTRACTORS 10 LAYOUT OF CEILING FIXTURES WITHOUT REVIEW AND APPROVAL BY THE ARCHITECT.

ABSOLUTELY NO CHANGES ARE TO BE MADE TO

- WHERE THE ACOUSTIC CEILING TILES AND GRID SYSTEM TILES INSTALLED SHALL BE NEW MATERIAL AND FREE FROM DEFECTS AND ANY CAULKING MATERIAL.
- ELECTRICAL CONTRACTOR SHALL FIELD CHECK THE 12 PREMISES AND VERIFY ALL CLEARANCES AS REQUIRED FOR ANY AND ALL LIGHTING FIXTURES BEFORE PROCEEDING WITH ANY INSTALLATION. REPORT ANY DISCREPANCIES TO ARCHITECT OR TENANT REPRESENTATIVE FOR RESOLUTION BEFORE ANY FIXTURES ARE INSTALLED ARCHITECT RESERVES THE RIGHT TO RELOCATE FIXTURES SHOWN ON PLAN TO DOES NOT POINT OUT DISCREPANCY BEFORE ANY
- FIXTURES ARE INSTALLED. ELECTRICAL, MECHANICAL AND PLUMBING CONTRACTORS 17 13 MUST COORDINATE INSTALLATION AND REQUIRED CLEARANCES OF THEIR EQUIPMENT
- THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS 18 ALL DOORS DESIGNATED TO BE FIRE—RATED SHALL BE 14 AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR ACHIEVING THE NECESSARY CLEARANCES FOR ALL
- SPECIFIED ITEMS ON THE DRAWINGS. MECHANICAL, ELECTRICAL AND PLUMBING DESIGN-BUILD DRAWINGS RESPONSIBLE FOR SPECIFICATIONS FOR LAYOUTS OF AND EQUIPMENT AND DESIGN OF THESE RESPECTIVE SYSTEMS INFORMATION INCLUDING BUT NOT
- ALL WIRING FOR LIGHT FIXTURES, EXIT SIGNS OR OTHER 16 ELECTRICAL DEVICES SHALL BE U.L. APPROVED AND INSTALLED IN ACCORDANCE WITH APPROPRIATE CODES. 21
- ALL CEILING FIXTURES SHALL BE CERTIFIED U.L. 17 APPROVED PRIOR TO INSTALLATION.

MOUNTING HEIGHTS FOR THERMOSTATS SHALL BE 44"

- 18 A.F.F. U.O.N. LIGHT SWITCHES LOCATED ON WALL PERPENDICULAR TO 19 DOOR SHALL BE 39" CENTERLINE FROM FACE OF DOOR
- WHERE SWITCHES ARE SHOWN ADJACENT TO EACH 20 OTHER, THEY SHALL BE GANGED AND COVERED BY A SINGLE PLATE, U.O.N.

AT 44" A.F.F.

- PARTITION NOTES:
- 1 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT IMMEDIATELY. CONSTRUCTION PLAN BY ARCHITECT SUPERSEDES ALL OTHER PLANS.
- TO FINISH FACE, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET (AND CUSHION), CERAMIC TILE, VCT,
- 3 DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, UNLESS OTHERWISE NOTED.
- COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING ONLY, VERIFY EXACT LOCATIONS IN

AND DOORS ON FLOOR FOR REVIEW BY ARCHITECT

PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN

INTENT, CONTRACTOR SHALL COORDINATE AND VERIFY

ALL CONDITIONS TO ENSURE PROPER FIT. GYPSUM BOARD AND PROVIDE LOW DENSITY ACOUSTICAL BATT INSULATION: FOUR POUNDS PER CUBIC INCH. 2-1/2" THICK, UNFACED FIBERGLASS INSULATION OWENS-CORNING NOISE BARRIER, USG

THERMAFIBER OR APPROVED EQUAL. WHERE BATT

INSULATION IS INDICATED.

- 7 VERIFY ALL DIMENSION SHOWN ON DRAWINGS BY TAKING FIELD MEASUREMENTS; PROPER FIT AND ATTACHMENT OF ALL PARTS ARE REQUIRED. BEFORE COMMENCING WORK, CHECK ALL LINES AND LEVELS INDICATED AND OTHER SUCH WORK AS HAS BEEN COMPLETED. SHOULD THERE BE ANY DISCREPANCIES, REPORT IMMEDIATELY TO THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS.
- 8 CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL ELECTRICAL AND PLUMBING DESIGN BUILD SUB CONTRACTORS AND REPORT IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INCURRED DUE TO LACK OF PROPER COORDINATION.
- 9 ALL PARTITIONS SHALL BE ANCHORED FIRMLY AND
- 10 ALL GLAZING SHALL MEET REQUIREMENTS OF GOVERNMENTAL CODES AND ORDINANCES, AND MEET DESIGN STRESS REQUIREMENTS FOR SIZE. SUBMIT SAMPLES OF GLASS TO ARCHITECT FOR REVIEW PRIOR TO ORDERING, FOR ABOVE STANDARD DETAILS ONLY.
- 11 CONTRACTOR WILL INSPECT AND LEVEL FLOOR WHERE REQUIRED, AND INSTALL "LEVELING" UNDERLAYMENT AT VCT, WOOD FLOORS AND BUILT-IN FILE LOCATIONS TO ASSURE LEVEL SURFACE AND ALIGNMENT WITH ADJACENT CARPET AND/ OR PAD, UNLESS OTHERWISE
- DRAWINGS PLUMB, LEVEL, TRUE TO LINE AND SECURELY FASTENED OR ANCHORED.
- 13 ALL MILLWORK SHALL CONFORM TO THE STANDARDS OF THE W.I.C. FOR QUALITY AND CRAFTMANSHIP. STANDARD CLASSIFICATIONS: P. LAM. -W.I.C. CUSTOM. CUSTOM WD. - W.I.C. PREMIUM.
- 15 CONTRACTOR SHALL INSTALL DOORS COMPLETE WITH ALL HARDWARE FITTINGS AND ACCESSORIES AS REQUIRED FOR SPECIFIC INSTALLATION AND FURNISH ANY SPECIAL ITEMS REQUIRED FOR CODE CONFORMANCE (SUCH AS ADA) AT EVERY DOOR LOCATION. SPECIFY SCHLAGE HARDWARE TO MATCH
- INSURE PROPER DISTRIBUTION OF LIGHT IF CONTRACTOR 16 ALL DOORS TO BE UNDERCUT 1/4" OVER CARPET AND VINYL TILE (EXCEPT FIRE-RATED DOORS) AT FINISH
 - ALL LABELED (FIRE RATED) DOORS SHALL BE INSTALLED WITH MINIMUM CLEARANCE ABOVE

THRESHOLD OR ABOVE FINISH FLOOR.

LABELED AS REQUIRED BY CODE.

- 19 THE FINISH HARDWARE SUPPLIER SHALL EXAMINE THE DRAWINGS, SCHEDULES, AND SPECIFICATIONS AND FURNISH PROPER HARDWARE WHETHER LISTED OR NOT. HE SHALL ALSO SUPPLY A COMPLETE HARDWARE LIST AND SCHEDULE TO THE ARCHITECT FOR REVIEW.
- LIMITED TO LIGHTING, WIRING, SWITCHING AND HVAC. 20 ALL HARDWARE SHALL BE INSTALLED ACCORDING TO THE STANDARDS OF THE SPECIFIC MANUFACTURERS
 - ALL FRAMES TO HAVE DOOR SILENCERS.
 - 22 REFER TO DOOR SCHEDULE, DOOR TYPES AND FINISH HARDWARE GROUPS FOR SPECIFIC DOOR REQUIREMENTS.
 - 23 ALL PERMANENT AND TEMPORARY BLOCKING, HARDWARE, AND ALL OTHER MISCELLANEOUS MATERIAL, TOOLS, AND TECHNIQUES IMPLIED BY THE DRAWINGS SHALL BE INCLUDED IN THIS WORK SO AS TO PRODUCE A COMPLETE AND FINISHED PRODUCT
 - 24 ALL INTERIOR OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS SHALL BE SEALED, CAULKED, GASKETED OR WEATHER-STRIPPED TO LIMIT AIR LEAKS.

25 WHERE GYPSUM WALL BOARD MEETS EXISTING CORNER,

REMOVE (E) METAL CORNER BEAD PRIOR TO

INSTALLATION OF NEW GYPSUM WALLBOARD.

- ADJACENT OR ADJOINING SURFACES. TAPE AND SAND THE JOINTS SMOOTH WITHOUT ANY VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES.
- 27 COORDINATE LOCATIONS AND PROVIDE ADEQUATE BLOCKING WITHIN PARTITIONS FOR ALL CABINETS, COUNTERS, SHELVES AND ANY WALL MOUNTED ITEMS.

26 ALIGN NEW PARTITION SURFACES WITH THE (E)

- 28 CHECK CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND COORDINATION BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR ANY OTHER COORDINATION QUESTIONS, OBTAIN A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
- 29 ALL NEWLY INSTALLED GYPSUM WALL BOARD PARTITIONS SHALL BE NON- TEXTURED, SMOOTH WALL FINISH U.O.N.

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Project: Media Services Relocation 200 McAllister Street

UC Hastings College of Law

200 McAllister Street

San Francisco, CA

Project Number: 491-142

San Francisco, CA



Date Rev. Issue 11.05.14 BID SET

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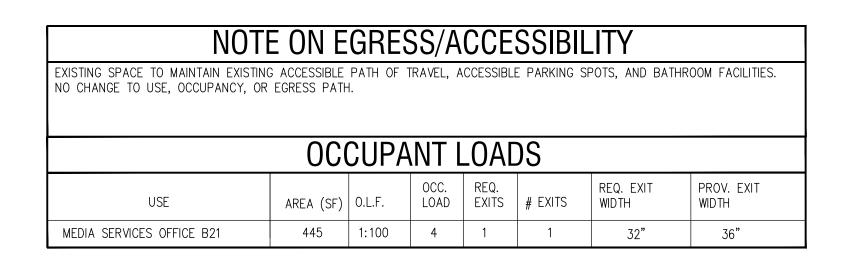
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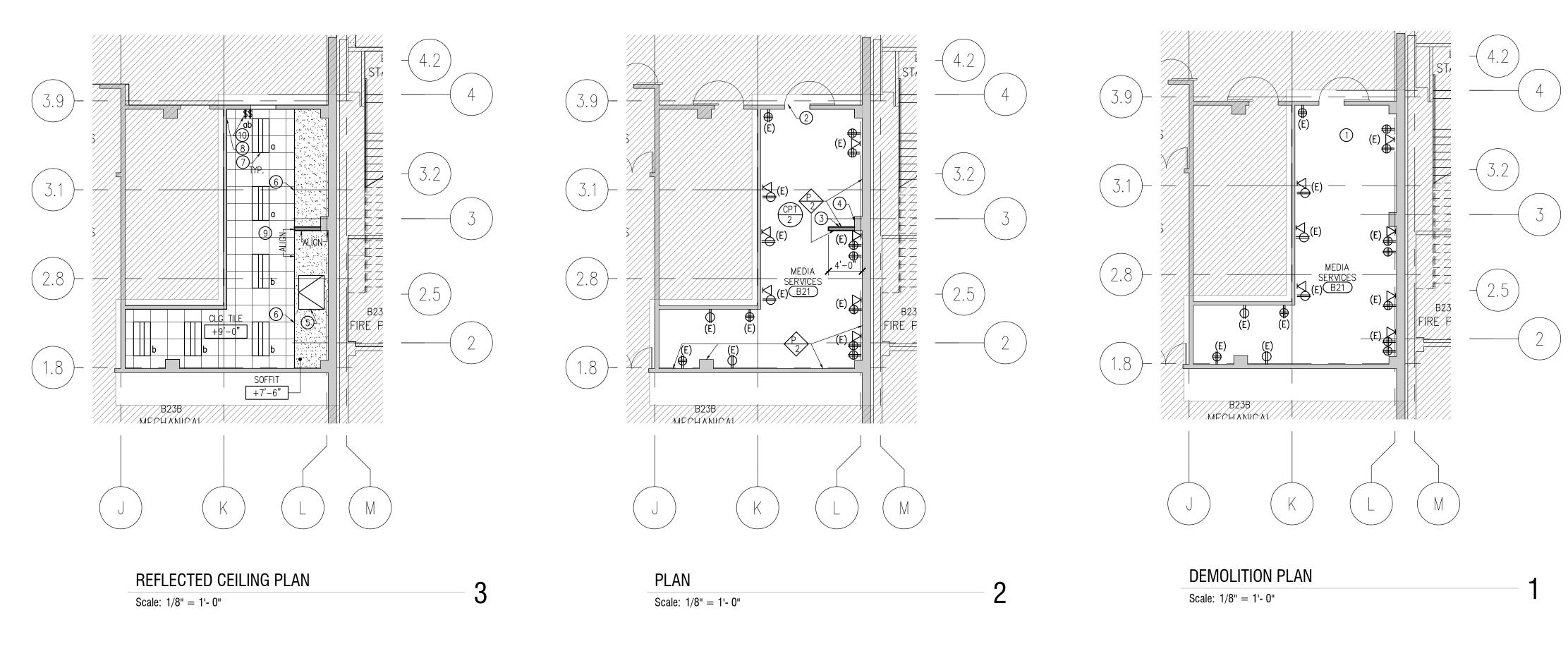
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GENERAL NOTES

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PLAN KEYNOTES GENERAL NOTES LEGEND CUT IN NEW FIRE EXTINGUISHER CABINET, TOP OF CABINET TO BE 60" AFF. ALTA 7063-DV SEMI-RECESSED, STAINLESS STEEL, 1) REMOVE EXISTING CARPET. REMOVE ALL EXISTING LIGHTS. RETURN TO OWNER. ALLOW FOR PATCHING OF EXISTING WALLS AS NEEDED. EXISTING INTERIOR & EXTERIOR WALL ARMSTRONG CEILING SYSTEM VERTICAL BLACK LETTERING PAINT WALLS P-1 UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE. (2) EXISTING DOOR TO REMAIN. 4. SAVE REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER. 24"x 24" SQUARE TEGULAR TILES, MATCH BUILDING STANDARD. NEW FULL HEIGHT INTERIOR WALL 3 NEW WALL PARTITION, TYPE C. SEE 2/A7.0. USE EXISTING REGISTERS AND RETROFIT WITH FLEXIBLE DUCTS TO 5. NEW RUBBER BASE ON ALL WALLS. SEE FINISH SCHEDULE FOR SPEC. NEW CEILING GRILLS. . SEE SHEET A6.0 FOR CEILING DETAILS. SWITCH LIGHTS AS SHOWN. . SEE SHEET A7.0 FOR WALL PARTITION TYPES. (4) REMOVE EXISTING FIRE EXTINGUISHER. 8. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND HAVE MOTION 2'X4' LIGHT COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS. 5 NEW 3'X4' CEILING ACCESS PANEL, COORDINATE LOCATION WITH SENSORS. DATA PORT TELEPHONE EQUIPMENT. PAINT TO MATCH CEILING. 6 NEW GYPSUM BOARD SOFFIT. SEE 6/A6.0. ALIGN FACE WITH NEW QUAD OUTLET WALL. PAINT P-6. 7) NEW FLUORESCENT LED LIGHT DUPLEX OUTLET CEILING ACCESS PANEL

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Drawing Description:

BASEMENT PLAN AND RCP IN 198 McAllister

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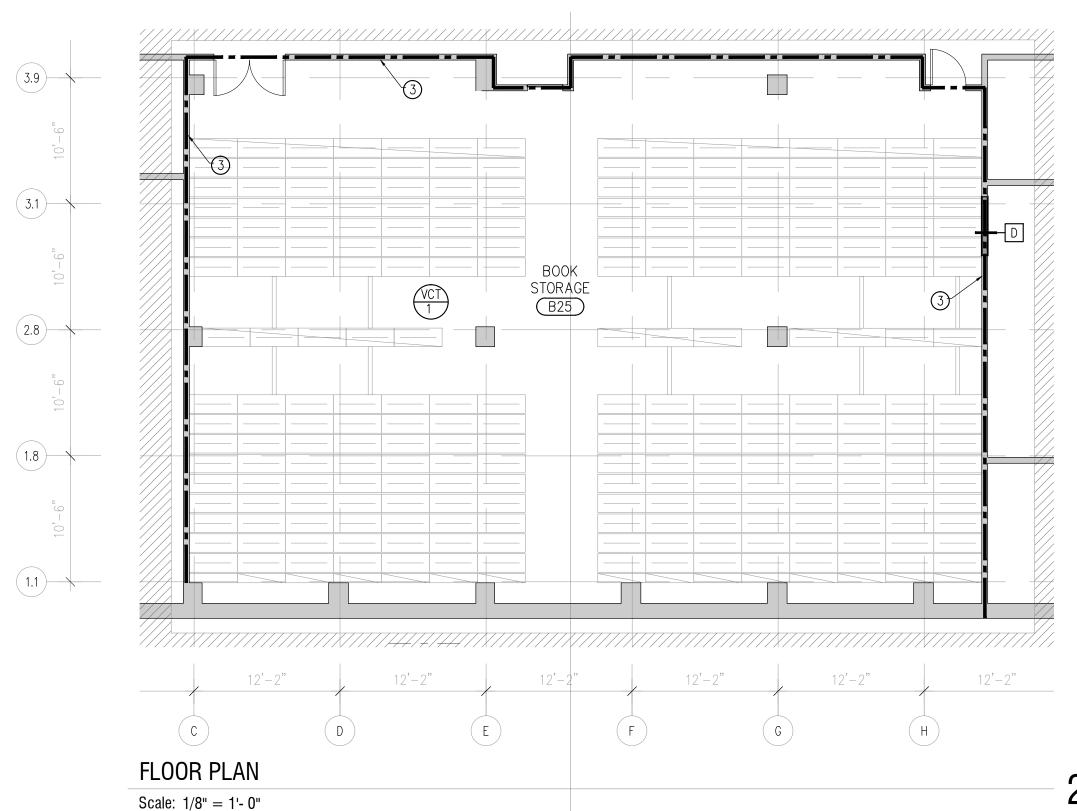
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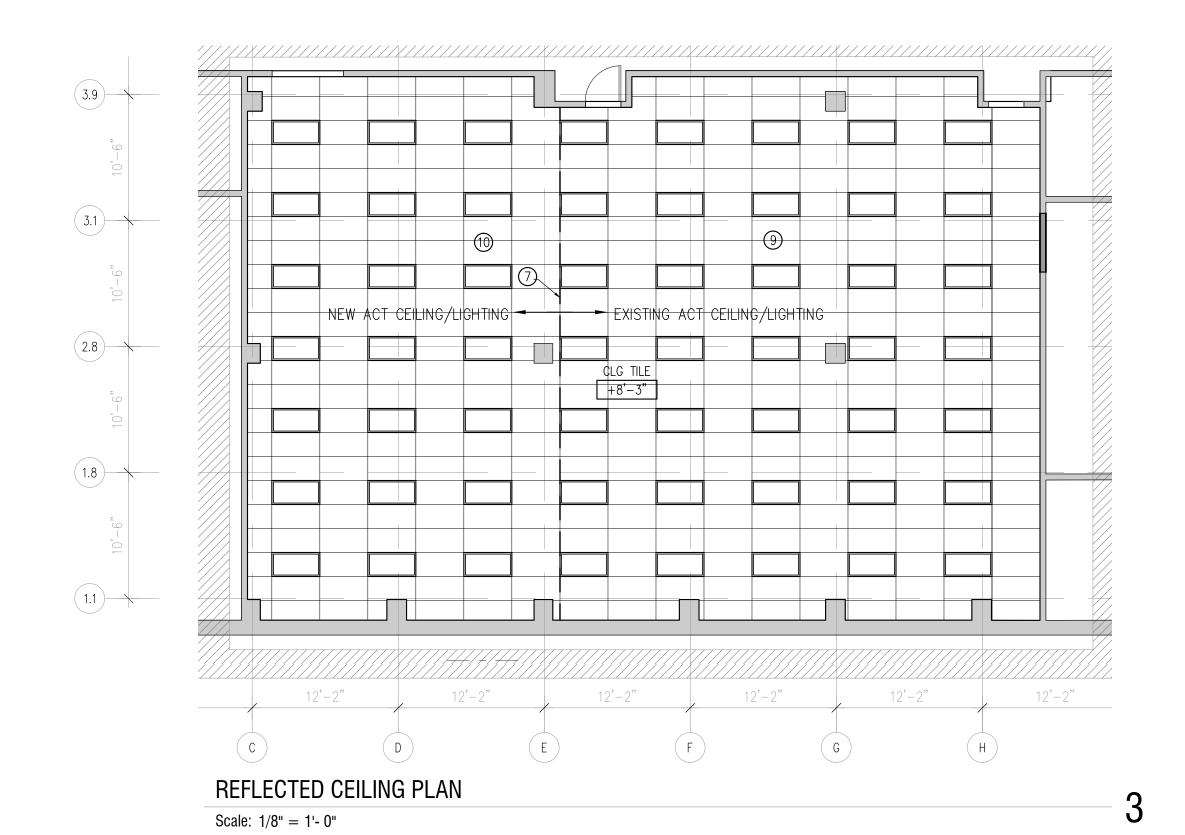
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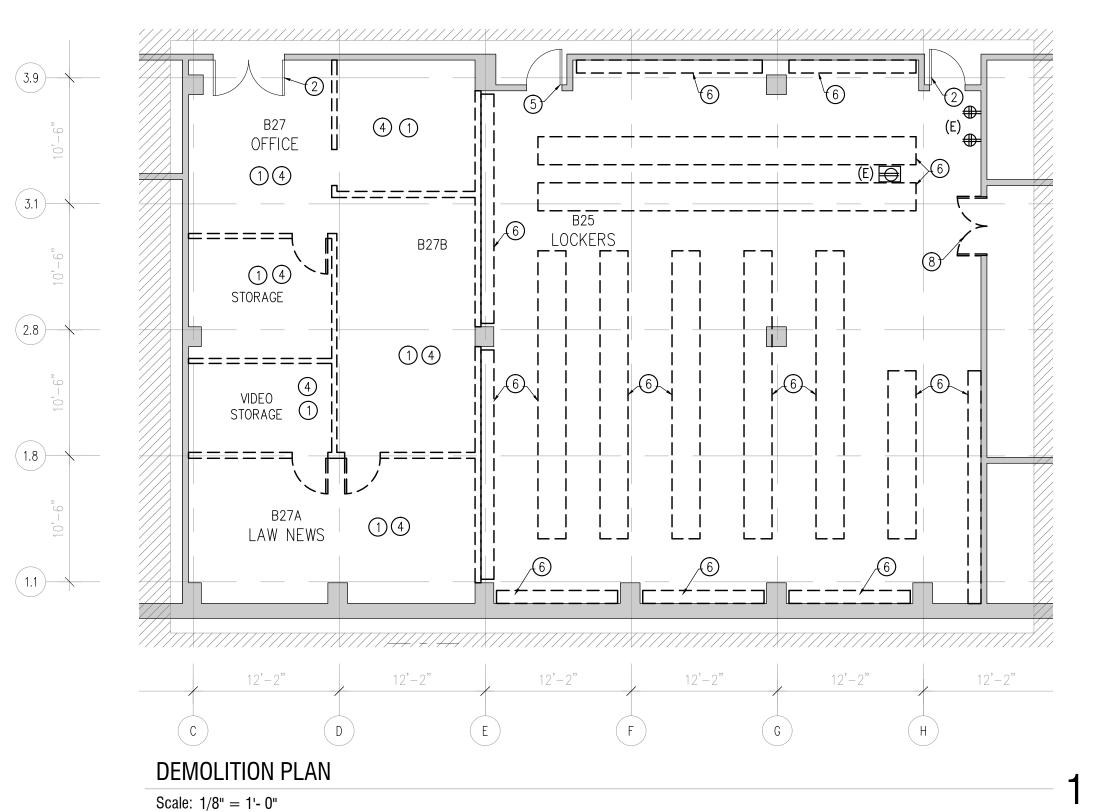
EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE IN OVERALL BUILDING USE. CHANGE IN USE OF B27 FROM OFFICE (B) TO ACCESSORY STORAGE (S-1).

OCCUPANT LOADS

USE	AREA (SF)	O.L.F.	OCC. LOAD	REQ. EXITS	# EXITS	REQ. EXIT WIDTH	PROV. EXIT WIDTH
HIGH DENSITY STORAGE B25	2,935	1: 300	10	1	2	32"	35" & 71"







GENERAL NOTES LEGEND PLAN KEYNOTES 1) REMOVE EXISTING CARPET. 1. ALLOW FOR PATCHING OF EXISTING WALLS AND COLUMNS TO MAKE SMOOTH. 9 EXISTING HVAC AND REGISTERS TO REMAIN. 2. PAINT WALLS P-1 UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE. EXISTING INTERIOR & EXTERIOR WALL RECONFIGURE EXISTING HVAC AND REGISTERS IN NEW CEILING. DISTRIBUTE UNIFORMLY. SAVE REGISTERS, FIRE ALARM DEVICES FOR REUSE. RETURN UNUSED MATERIALS TO OWNER. ② EXISTING DOOR TO REMAIN. 24" X 48" RECTANGULAR TILES (MATCH EXISTING) 4. NEW RUBBER BASE ON ALL WALLS. SEE FINISH SCHEDULE FOR SPEC. NEW FULL HEIGHT INTERIOR WALL 3 VERIFY WALL/DOORS ARE 1 HR PARTITIONS. CONTRACTOR 5. SEE SHEET A1.5 FOR FINISH SCHEDULE. 6. SEE SHEET A6.0 FOR CEILING DETAILS. RESPONSIBLE FOR PATCHING ANY EXISTING PENETRATIONS TO 7. SEE SHEET A7.0 FOR WALL PARTITION TYPES. -----WALL TO BE REMOVED MAKE 1 HR RATING. -----8. SAVE LIGHTS FOR REUSE 4 DEMO CEILING GRID. SAVE LIGHTS FOR REUSE IN NEW CEILING GRID. 9. VCT FLOORING TO BE INSTALLED ON TOP OF HIGH DENSITY SHELVING FLOOR. COORDINATE QUAD OUTLET 2'X4' BUILDING STANDARD DIRECT/INDIRECT LIGHT WITH SHELVING INSTALLER. 5 LOCK EXISTING DOOR AND REMOVE LATCH HARDWARE. 10. NEW VCT FLOOR TO MATCH EXISTING VCT FLOOR. DUPLEX OUTLET 11. REPLACE CEILING TILE AS NEEDED. DUPLEX FLOOR BOX OUTLET 6 DEMO CONCRETE LOCKER PADS. 12. HIGH DENSITY STORAGE SHOWN FOR REFERENCE. BY OTHERS. 13. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES. 7 ALIGN NEW CEILING TILE WITH EXISTING. 1 HR RATED WALL 8 DEMO EXISTING DOOR AND FRAME.

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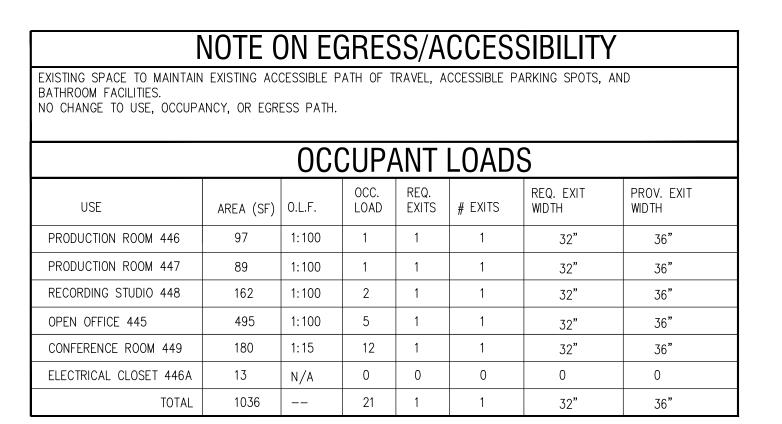
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HIGH DENSITY STORAGE PLANS IN 198 MCALLISTER

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PROVIDE ACOUSTICAL SEALANT AROUND ALL NEW WALL PENETRATIONS,

20 2ND CONTROL/DIMMING SWITCH. SWITCH LIGHTS AS SHOWN ON OVERALL PLAN.

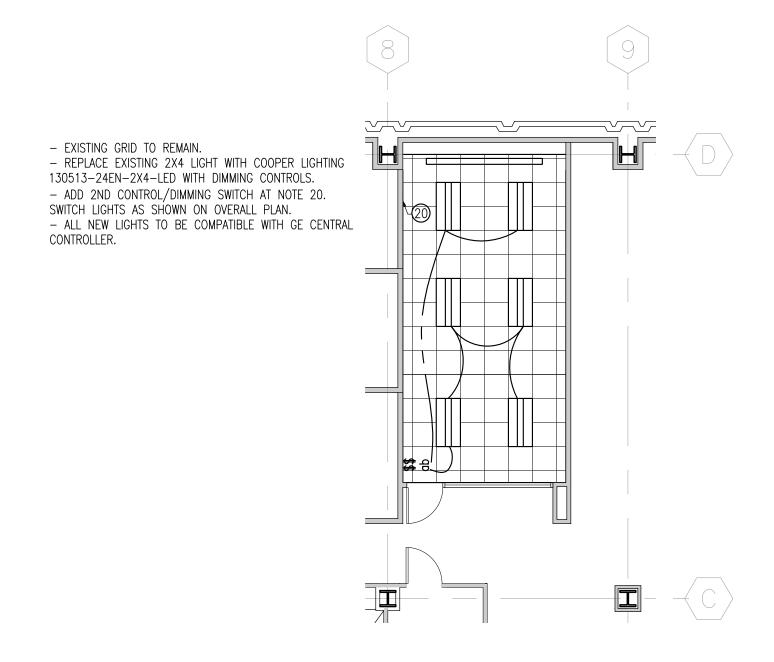
INCLUDING BACK BOXES AND RECEPTACLES, TYP. IN RECORDING STUDIO.

ALTERNATE: PROVIDE $\frac{3}{4}$ " CONDUIT PATHING FROM FLOOR BOX TO BACK BOX

(8) REMOVE EXISTING CEILING TILES. SAVE AND REUSE EXISTING LIGHTS.

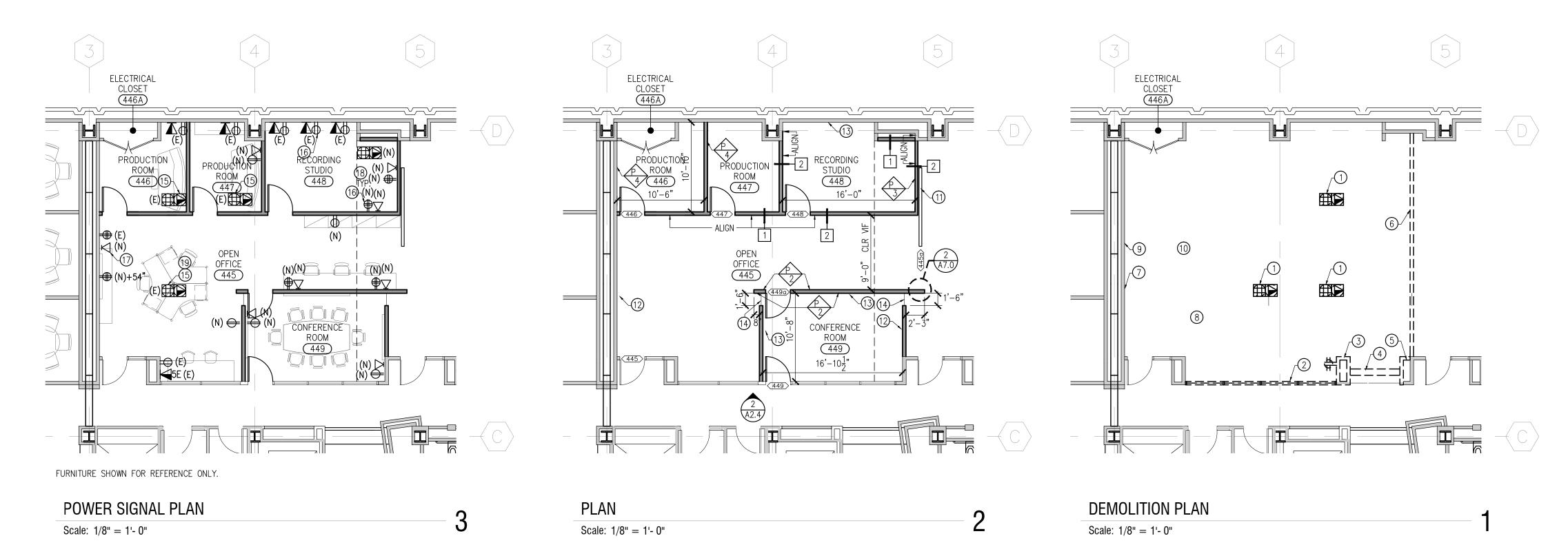
(10) EXISTING CARPET TO REMAIN. PROTECT AND REPLACE AS NEEDED.

(9) REMOVE AND SAVE EXISTING CONTROL PANEL. PATCH WALL TO MATCH EXISTING.



TRAINING ROOM

Scale: 1/8" = 1'- 0"



PLAN KEYNOTES GENERAL NOTES LEGEND PRICE AS ALTERNATE: SLIDING BARN DOOR. SEE DOOR SCHEDULE. 1) REMOVE AND PATCH FLOOR AT EXISTING FLOOR BOX. PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED. REMOVE AND SAVE EXISTING LIGHTS, CEILING TILES, REGISTERS, FIRE ALARM DEVICES FOR EXISTING INTERIOR & EXTERIOR WALL NEW MONITOR PROVIDED BY OWNER. PROVIDE BACKING AND PATHWAYS. REUSE. RETURN UNUSED MATERIALS TO OWNER. 2) REMOVE EXISTING STOREFRONT SYSTEM. 3. LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED. 24"x 24" SQUARE TEGULAR TILES, MATCH BUILDING STANDARD. NEW FULL HEIGHT INTERIOR WALL 3 REMOVE WALL CONSTRUCTION AND RELOCATE ANY INSIDE INFRASTRUCTURE. NEW 4'X5' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE 4. PROVIDE BACKING AS REQUIRED. CONFIRM WITH ARCHITECT. 5. SEE SHEET A1.5 FOR FINISH SCHEDULE (4) REMOVE EXISTING SLANTED GLASS WINDOW. FRAMELESS GLASS WINDOW, SEE DETAIL 1/A7.0. WALL TO BE REMOVED 6. NEW WALLS TO BE TYPE 1 U.O.N. 7. PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE. (5) REMOVE WALL CONSTRUCTION AND RELOCATE ANY INSIDE INFRASTRUCTURE. FINISH (15) LEAVE EXISTING FLOOR BOX FOR FUTURE USE. DATA PORT 8. SEE SHEET A6.0 FOR CEILING DETAILS. 2'X4' LIGHT COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS. EXPOSED WALL TO MATCH EXISTING ADJACENT WALL. 9. SEE SHEET A7.0 FOR WALL PARTITION TYPES. QUAD OUTLET 6 BRING FOLDING WALL UP TO CEILING, REMOVE MOTORIZED CONTROLS TO SECURE 10. PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED. WALL IN OPEN POSITION. 11. PARTITIONS DIMENSIONED TO FINISH FACE U.O.N. INPUT BACK BOX. PROVIDE 1-1/4" CONDUIT AND PATHING TO TV AT 54" AFF. DUPLEX OUTLET 7) REMOVE EXISTING PROJECTION SCREEN AND PROJECTOR. RETURN TO OWNER. 12. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND MOTION

13. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.

MKTHINK

Architects:

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Project:

Media Services Relocation 200 McAllister Street San Francisco, CA

Project Number: 491-142



Clients:
UC Hastings College of Law
200 McAllister Street
San Francisco, CA

Rev.	Issue	Date
	BID SET	11.05.14
		_
		_
Seal:		

Scale: AS NOTED

Drawing Description:

4th FLOOR PLANS IN 200 McALLISTER

Date:

Drawn By: -- Checked By: --

Sheet Number:

NOTE ON EGRESS/ACCESSIBILITY										
EXISTING SPACE TO MAINTAIN EXISTING ACCESSIBLE PATH OF TRAVEL, ACCESSIBLE PARKING SPOTS, AND BATHROOM FACILITIES. NO CHANGE IN OVERALL BUILDING USE. NO CHANGE IN USE TO ROOM 425. CHANGE IN USE FROM STORAGE TO OPEN OFFICE IN ROOMS 424 & 427.										
	OCCUPANT LOADS									
USE	USE AREA (SF) O.L.F. OCC. REQ. REQ. EXIT WIDTH WIDTH									
READING ROOM 424	READING ROOM 424 97 1:50 2 1 1 32" 36"									
READING ROOM 425	83	1: 50	2	1	1	32"	32"			
OPEN OFFICE 427*	182	1:100	2							

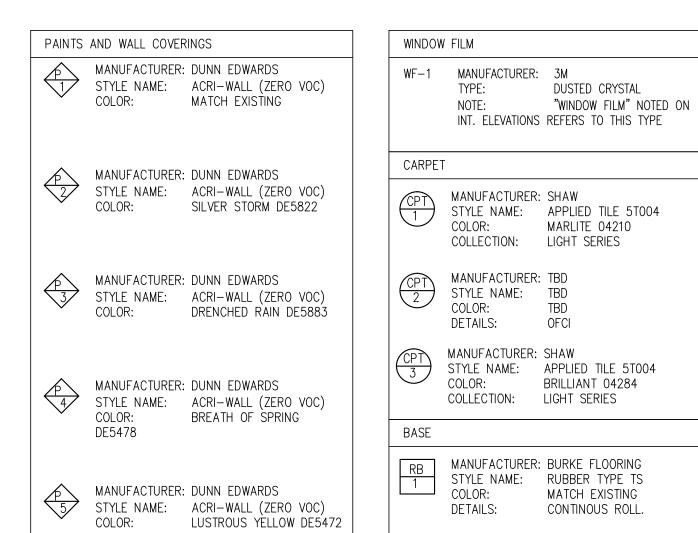
* = FOR NEWLY OPENED AREA ONLY

ELEV 3

ELEV 2

READING ROOM 424 A2.4

READING ROOM 425



FLOOR

FINISH SCHEDULE

MANUFACTURER: BUZZISPACE
STYLE NAME: BUZZISKIN
COLOR: OFFWHITE 063

Scale: --

STYLE NAME: APPLIED TILE 5T004
COLOR: BRILLIANT 04284 MANUFACTURER: BURKE FLOORING STYLE NAME: RUBBER TYPE TS COLOR: MATCH EXISTING DETAILS: CONTINOUS ROLL. MANUFACTURER: MATCH EXISTING STYLE NAME: MATCH EXISTING COLOR: MATCH EXISTING

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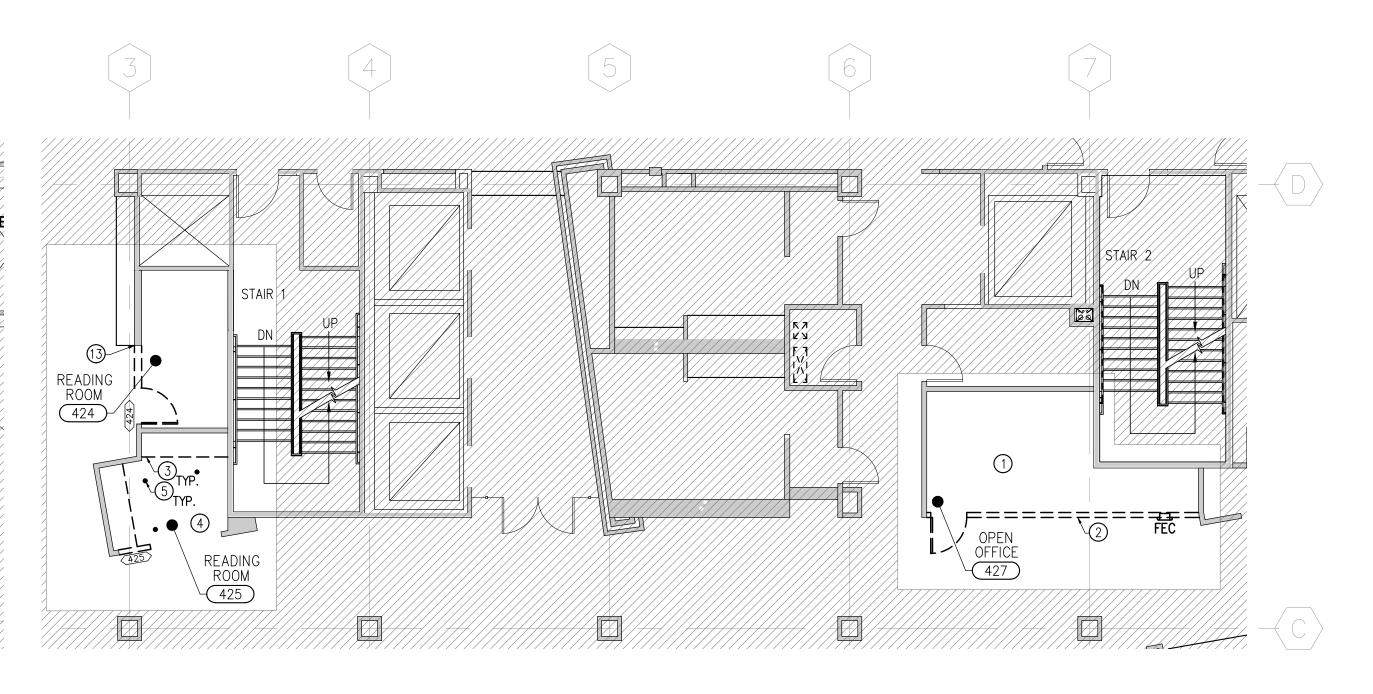
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Project:

491-142

San Francisco, CA 94111

Date Rev. Issue BID SET 11.05.14 Seal:



PLAN **DEMOLITION PLAN** Scale: 1/8" = 1'- 0" Scale: 1/8" = 1'- 0"

OPEN OFFICE 427

PLAN KEYNOTES		GENERAL NOTES	LEGEND
REMOVE AND SAVE EXISTING LIGHTS. RETURN TO OWNER. REPLACE CEILING TILES AS NEEDED, MATCH EXISTING. CUT BACK WALL TO FORM SOFFIT EDGE AT 8'-6" AFF. RELOCATE PHONE. REMOVE EXISTING SOLID SURFACE COUNTER. EXISTING SOFFIT TO REMAIN. RELOCATE DOWN LIGHTS AND PATCH CEILING. REMOVE AND RELOCATE EXISTING LIGHT FROM CEILING. NEW ALUMINUM FRAME STOREFRONT SYSTEM WITH GLASS SIDELIGHT, MATCH EXISTING. RELOCATED EXISTING PHONE. NEW 4'X5' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE NEW 4'X6' POLYVISION E3 ENVIRONMENTAL CERAMICSTEEL SURFACE	① EXISTING HVAC AND REGISTERS TO REMAIN. ② RECONFIGURE EXISTING HVAC AND REGISTERS IN NEW CEILING. DISTRIBUTE UNIFORMLY. ③ CUT BACK EXISTING WALL TO 4" FROM EXISTING BOOKCASE	1. PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED. 2. PROVIDE BACKING AS REQUIRED. 3. NEW WALLS TO BE TYPE 1 U.O.N. 4. PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE. 5. SEE SHEET A6.0 FOR CEILING DETAILS. 5. SEE SHEET A1.5 FOR FINISH SCHEDULE 6. SEE SHEET A7.0 FOR WALL PARTITION TYPES. 7. PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED. 8. FURNITURE SHOWN FOR REFERENCE ONLY. 9. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.	EXISTING INTERIOR & EXTERIOR WALL NEW FULL HEIGHT INTERIOR WALL WALL TO BE REMOVED DATA PORT QUAD OUTLET DUPLEX OUTLET

Scale: **AS NOTED**

Drawing Description:

4th FLOOR STUDY ROOMS **IN 200 McALLISTER**

Checked By: --Drawn By: --

Sheet Number:

DOOR SCHEDULE

		DOOR			FRAME TYPE		FIRE RATING	HARDWARE		
DOOR NUMBER	TYPE (1)	SIZE (2)	MATERIAL (4)	FINISH (6)	MATERIAL (8)	FINISH (10)	(11)	SET NO.	ELECTRICAL	NOTES
445	A	3'-0" x 7'-0"	EXISTING	(E)	(E)	(E)	NR	(E)		EXISTING
445a	В	9'-6" x 9'-0"	GLASS	CLEAR	AL	FF	NR	2		SEE ALTERNATES
446	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
447	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
448	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	3		MATCH EXISTING DOORS
449a	A	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
449	А	3'-0" x 7'-0"	WD	CLEAR	AL	FF	NR	1		MATCH EXISTING DOORS
424	С	MATCH EXISTING	GLASS/AL	CLEAR	AL	FF	NR	4		MATCH EXISTING DOORS
425	С	MATCH EXISTING	GLASS/AL	CLEAR	AL	FF	NR	4		MATCH EXISTING DOORS

- 1. TYPE: SEE ELEVATIONS FOR DOOR TYPES. 2. SIZE: ALL DOORS TO BE 1-3/4" THICK WITH 3/8 UNDERCUT U.O.N. 4. MATERIAL: WD = SOLID CORE WOOD DOOR
- 8. FRAME MATERIAL: AL = ALUMINUM TO MATCH EXISTING10. FRAME FINISH: FF = FACTORY FINISH CLEAR TO MATCH EXISTING
- 11. NR = NONE REQUIRED.

HARDWARE SETS

1. WOOD DOOR HARDWARE LATCHSET HINGES DOOR STOP CLASSROOM LOCKSET

2. SLIDING DOOR HARDWARE

Z950 HINGES HIDDEN DROP SEAL

CLASSROOM LOCKSET

THRESHOLD

PASSAGE LOCKSET KN CROWDER 1-CRT-103-SS x 228" 1DR KIT CRT-100-SS TRACK x 228" IN 2 PIECES C/W VIRTUALLY

4. AL DOOR

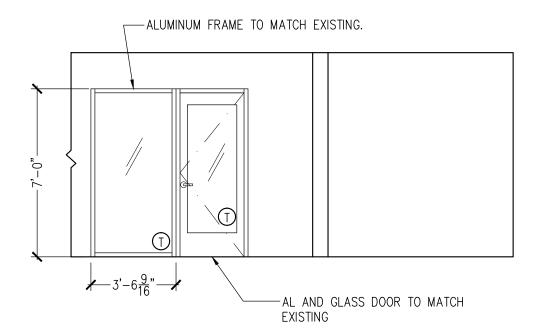
LATCH SET

DOORSTOP

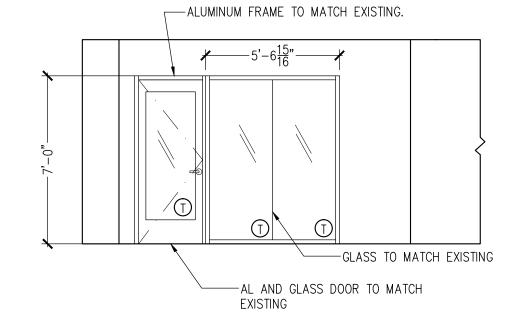
HINGES

- SEAMLESS JOINT C/W WALL MOUNT BRACKETS, 4 CRT-103-SS HANGERS, 2 CRT-110-SS STOPS, 2 CGGS-0 038 LADDER PULL 3. ACOUSTIC DOOR HARDWARE ZERO INTERNATIONAL SOUND TRAP 52 STC SEALING SYSTEM 119W DOOR SEAL 770AA HEAD AND JAM SEAL
- PAINTED WALL EXPOSED TOP TRACK ┌ BEYOND <u>9'-6"</u> DOOR 9'-0" WALL BEYOND 9' OPENING 3'-0" MATCH EXISTING \bigcirc FINISH FLOOR EL. VARIES TYPE A TYPE B TYPE C — SEE FINISH SCHEDULE FOR FILM SWING DOOR ALTERNATE: ALUMINUM AND GLASS SPEC. WOOD DOOR/ALUM. FRAME BY-PASS / BARN DOOR SWING DOOR

GĹASS







INTERIOR STOREFRONT ELEVATION RM 425

Scale: 1/4" = 1' - 0"

-WOOD DOOR TO MATCH EXISTING

/ EQ **/** EQ **/** EQ **/** EQ **/** — ALUMINUM FRAME TO MATCH EXISTING.

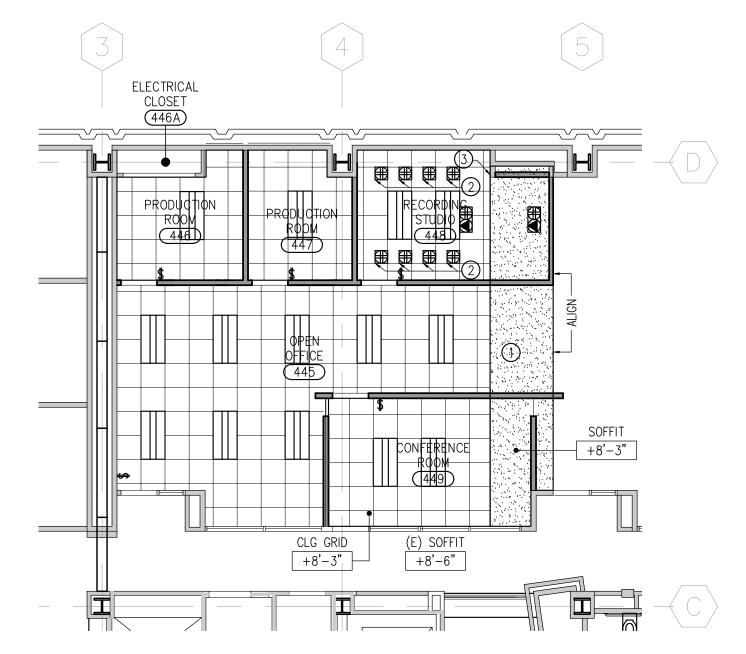
SEE FINISH SCHEDULE FOR FILM

INTERIOR STOREFRONT ELEVATION RM 449

Scale: 1/4" = 1' - 0"

EXISTING WOOD DOOR-

EXISTING WINDOW ----



REFLECTED CEILING PLAN

Scale: 1/8" = 1' - 0"

REFLECTED CEILING PLAN KEYNOTES

- (1) GYPSUM BOARD SOFFIT BELOW EXISTING FOLDED WALL PARTITION, SEE 5/A6.0.
- (2) 4 QUADS ON 1 DEDICATED CIRCUIT.
- (3) ALIGN EDGE OF NEW SOFFIT WITH EXISTING WALL.

1. REUSE EXISTING LIGHTS AND CEILING TILES WHERE POSSIBLE. RETURN UNUSED ITEMS TO 2. LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED. PROVIDE BACKING AS REQUIRED. 4. NEW WALLS TO BE TYPE 1 U.O.N. 5. PAINT WALLS FLAT WHITE TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH 6. SEE SHEET A7.0 FOR WALL PARTITION TYPES. 7. ALL CEILING HEIGHTS TO BE 8'-6" U.O.N. 8. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES. 9. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND HAVE MOTION SENSORS.

GENERAL NOTES

LEGEND EXISTING INTERIOR & EXTERIOR WALL NEW FULL HEIGHT INTERIOR WALL WALL TO BE REMOVED DATA PORT SURFACE-MOUNTED QUAD OUTLET

CEILING SURFACE-MOUNTED POWER AND DATA

ARMSTRONG CEILING SYSTEM 24"x 24" SQUARE TEGULAR TILES

TEMPERED GLASS

2'X4' LIGHT COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS.

A2.4

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Project Number:

San Francisco, CA



491-142

Clients: UC Hastings College of Law 200 McAllister Street San Francisco, CA

Rev. Issue Date 11.05.14 BID SET

Scale: AS NOTED

Drawing Description: 4th FLOOR CEILING

AND DOOR SCHEDULE

Drawn By: --Checked By: --

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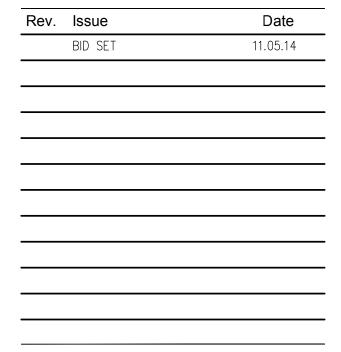
Project:

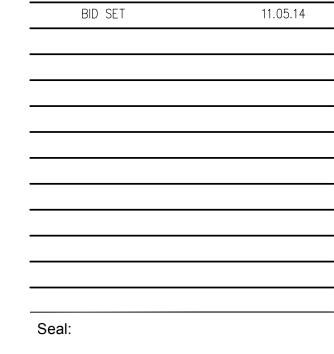
Media Services Relocation 200 McAllister Street San Francisco, CA

Project Number: 491-142



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Scale: **AS NOTED**

Drawing Description:

4th FLOOR STUDY ROOMS **IN 200 McALLISTER**

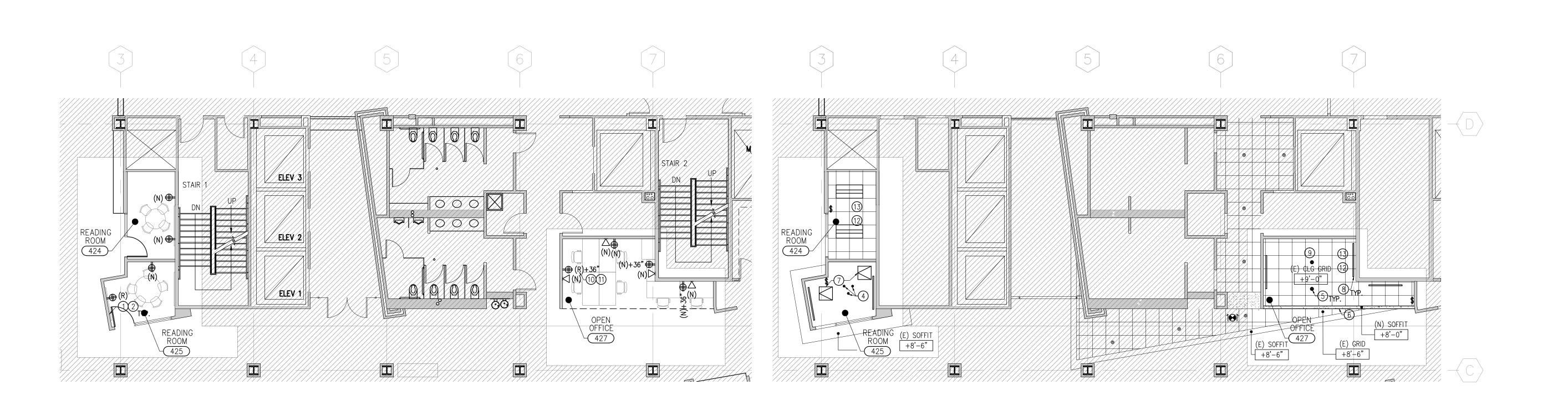
24"x 24" SQUARE TEGULAR TILES, MATCH BUILDING STANDARD.

2'X4' LIGHT COOPER LIGHTING 130513-24EN-2X4-LED WITH DIMMING CONTROLS

Drawn By: --Checked By: --

Sheet Number:

A2.5



REFLECTED CEILING PLAN

GENERAL NOTES

PATCH EXISTING WALLS WHERE CONSTRUCTION REMOVED, AS NEEDED.
REMOVE AND SAVE EXISTING LIGHTS, CEILING TILES, REGISTERS, FIRE ALARM DEVICES FOR

6. PAINT WALLS TO MATCH EXISTING UNLESS OTHERWISE NOTED. SEE FINISH SCHEDULE.

11. NEW LIGHTS TO BE INTEGRATED WITH BUILDING GE LIGHTING CONTROLLER AND MOTION

LEGEND

WALL TO BE REMOVED

DATA PORT

QUAD OUTLET

DUPLEX OUTLET

 \Rightarrow

EXISTING INTERIOR & EXTERIOR WALL

NEW FULL HEIGHT INTERIOR WALL

Scale: 1/8" = 1' - 0"

REUSE. RETURN UNUSED MATERIALS TO OWNER.

7. SEE SHEET A6.0 AND A7.0 FOR CEILING DETAILS.

10. PARTITIONS DIMENSIONED TO FINISH FACE U.O.N.

12. RECONFIGURE FIRE ALARM TO MEET REQUIRED CODES.

8. SEE SHEET A7.0 FOR WALL PARTITION TYPES.

4. PROVIDE BACKING AS REQUIRED. 5. NEW WALLS TO BE TYPE A U.O.N.

3. LOCATE POWER AND DATA AT 18" AFF. UNLESS OTHERWISE INDICATED.

9. PROTECT CARPET DURING CONSTRUCTION AND REPLACE AS NEEDED.

POWER SIGNAL PLAN

PLAN KEYNOTES

1 REMOVE EXISTING DATA PORTS AND PATCH WALLS, TYP.

(5) NEW DOWNLIGHT TO MATCH EXISTING IN ADJACENT ACT SOFFIT.

6 NEW GYPSUM BOARD SOFFIT. PAINT P-3, SEE FINISH SCHEDULE 4/A1.5.

(9) EXISTING CEILING GRID TO REMAIN. REPLACE TILES WHERE NECESSARY.

8 NEW 62" ARTIMIDE 2 SQUARE SUSPENSION SYSTEM INDIRECT FLOURESCNET LIGHT. LOCATE 4" FROM ADJACENT WALL AND 8' AFF TO BOTTOM OF FIXTURE.

2 RELOCATE EXISTING POWER TO 18" AFF.

7 EXISTING ACCESS PANEL TO REMAIN.

10) RELOCATE EXISTING POWER TO 40" AFF.

4 RELOCATED DOWNLIGHT.

(1) CONVERT DUPLEX TO QUAD.

EXISTING HVAC AND REGISTERS TO REMAIN.

RECONFIGURE EXISTING HVAC AND REGISTERS IN NEW CEILING. DISTRIBUTE

Scale: 1/8" = 1' - 0"

NEW 3 & METAL STUD -ANGLE BRACE @ 45 DEGREES TO SLAB ABOVE GYPSUM BOARD -ACOUSTICAL CEILING SYSTEM "SHADOW MOLD" EDGE TRIM EXISTING LAY-IN ACOUSTICAL - 3-5/8" MTL STUD 16" O.C. CEILING ACOUSTICAL CEILING SYSTEM "SHADOW MOLD" EDGE TRIM GYPSUM BOARD LAY-IN ACOUSTICAL CEILING CORNER BEAD -- CORNER BEAD

GYPSUM BOARD/ LAY-IN CEILING SOFFIT TRANSITION

Scale: 3'' = 1'-0''

ACOUSTICAL SEALANT. BOTH SIDES, TOP AND BOTTOM, TYP. TO STRUCTURE ABOVE AS REQUIRED. - CONTINUOUS CEILING RUNNER W/ 1-1/4" LEGS. RETURN. 1'-4" O.C. MAX. — 3" SOUND ATTENUATING FIBERGLASS BLANKET TO STRUCTURE. TYP. -POWDER DRIVEN FASTENERS 0.1770 X 1-1/2" ALL ENDS. CONTINUOUS FLOOR RUNNER W/ 1-1/4" LEGS. (E) FLOOR TO REMAIN

TYPE B: FULL HEIGHT ACOUSTIC PARTITION

(E) FLOOR TO REMAIN

-ACOUSTICAL SEALANT. BOTH SIDES, TOP AND BOTTOM, TYP.

- DOUBLE DEFLECTION TRACK ASSEMBLY. ANCHOR TOP TRACK

SEE CLG. PLAN

TO STRUCTURE ABOVE AS REQUIRED.

RETURN. 1'-4" O.C. MAX.

STRUCTURE. TYP.

— CONTINUOUS CEILING RUNNER W/ 1-1/4" LEGS.

RESILIENT CHANNEL MOUNTED VERTICALLY, 24" O.C.

- 2-1/2" 20 GA. STL. STUDS W/ 1-1/4" LEGS AND 3/8"

-5/8" GYPSUM BOARD FULL HEIGHT TO UNDERSIDE OF STRUCTURE, BOTH

SIDES. SCREW AT 8" O.C. ALONG EDGES AND AT 12" O.C. IN THE FIELD

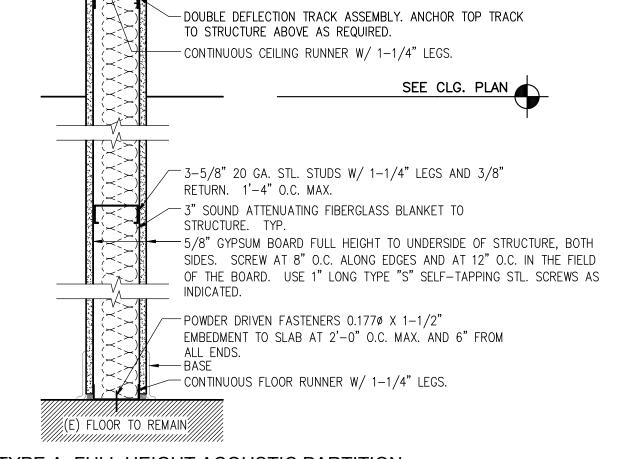
OF THE BOARD. USE 1" LONG TYPE "S" SELF-TAPPING STL. SCREWS AS

— 3" SOUND ATTENUATING FIBERGLASS BLANKET TO

POWDER DRIVEN FASTENERS 0.1770 X 1-1/2"

- CONTINUOUS FLOOR RUNNER W/ 1-1/4" LEGS.

EMBEDMENT TO SLAB AT 2'-0" O.C. MAX. AND 6" FROM



TYPE A: FULL HEIGHT ACOUSTIC PARTITION

WALL PARTITION TYPES (SEE 2B FOR ADDTIONAL WALL PARTITION TYPES) Scale: 1-1/2" = 1'- 0"

├── STL. STUD BLOCKING, WHERE CEILING OCCURS, CUT FLANGES BEND WEB UP

 $\overline{}$ 3-5/8" 20 GA. STL. STUDS W/ 1-1/4" LEGS AND 3/8" RETURN. 1'-4"

1" LONG TYPE "S" SELF-TAPPING STL. SCREWS AS INDICATED.

-5/8" GYPSUM BOARD FULL HEIGHT TO UNDERSIDE OF STRUCT. SCREW AT

POWDER DRIVEN FASTENERS 0.1770 X 1-1/2" EMBEDMENT TO SLAB AT

CONTINUOUS FLOOR RUNNER W/ 1-1/4" LEGS. 3-5/8" 20 GA. STL STD.

8" O.C. ALONG EDGES AND AT 12" O.C. IN THE FIELD OF THE BOARD. USE

SEE CLG. PLAN

---- DEFLECTION TRACK ASSEMBLY

and fasten to Stl. Studs W/ (2) #10 S.M.S.

2'-0" O.C. MAX. AND 6" FROM ALL ENDS. —BASE, SEE FINISH SCHEDULE.

(E) FLOOR TO REMAIN

TYPE C: CEILING HEIGHT PARTITION

HEAD -

FRAMELESS HEAD GLAZING DETAIL Scale: 3'' = 1'-0''

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Project: Media Services Relocation

200 McAllister Street San Francisco, CA

Project Number: 491-142



UC Hastings College of Law 200 McAllister Street San Francisco, CA

Rev. Issue Date BID SET 11.05.14

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DETAILS Date:

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U.L. DESIGN NO. U465

TYPE D: 1 HR FIRE-RATED NON-LOAD BEARING PARTITION

HEAD

CEILING⁻

PLAN

BASE

Scale: 1-1/2'' = 1'-0''

NOTE: SCRIBE PARTITION HEAD

NOTED OTHERWISE.

FIRE RATED SEALANT.

ABOVE AS REQUIRED.

CONTINUOUSLY TO STRUCTURE, UNLESS

CLOSE FULL DEPTH OF ALL JOINTS WITH

- DOUBLE DEFLECTION TRACK ASSEMBLY.

CONTINUOUS CEILING RUNNER W/ 1-1/4"

CEILING PER SHEET A1.2

LINE OF FINISHED CEILING SEE CEILING

-3-5/8", 20 GA. STL. STUDS W/ 1-1/4"

SIDES. SCREW @ 8" O.C. ALONG EDGES &

@ 12" O.C. IN THE FIELD OF THE BOARD.

USE 1" LONG TYPE "S" SELF- TAPPING STL. SCREWS AS INDICATED. SEE ACTUAL U.L. DIR. FOR G.W.B. TYPE DESIGNATION

PER MANUFACTURER. TYPE "C" TYP. FOR

@ PTN. TYPE C W/ "A" MODIFIER. 3"

- BASE - SEE FINISH SCHEDULE FOR TYPE. - POWDER DRIVEN FASTENERS 0.1770 X 1-1/2" EMBEDMENT TO SLAB @ 2'-0"

- CONTINUOUS FLOOR RUNNER W/ 1-1/4"

- CLOSE FULL DEPTH OF ALL JOINTS WITH

─ §" GYP. BD., PAINTED.

- CORNER BEAD, TYP.

SOLID, CONT. BLOCKING AS REQUIRED

PER MANF. REDOMMENDATIONS.

- CONT. CHANNEL, ANCHOR TO MTL STUD

 $-\frac{1}{2}$ " THK. CLEAR TEMPERED GLASS, TYP.

SOUND ATTENUATING FIBERGLASS

O.C. MAX. & 6" FROM ALL ENDS.

FIRE RATED SEALANT.

MOST MANUFACTURERS.

BLANKET.

LEGS & 3/8" RETURN. 1'-4" O.C. MAX.

5/8" TYPE-X GYPSUM BOARD FULL HEIGHT TO UNDERSIDE OF STRUCT., BOTH

DETAILS FOR EXACT CONFIGURATION.

ANCHOR TOP TRACK TO STRUCTURE